

SEC. 19, T 24 N, R 5E, W.M.

Project 4833 MI 4 - Lot Short Plat SUB22 - 009

Construction Plans Permit Number 2409 - 065

MATTERS OF RECORD:

THE HEREIN DESCRIBED PROPERTY IS SUBJECT TO THE FOLLOWING EASEMENTS AND ENCUMBRANCES OF RECORD:

- COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS EASEMENTS AND OTHER TERMS AND CONDITIONS SHOWN ON LINDLEY ADDITION TO SEATTLE PER RECORDING NO. 32487
- RIGHT TO MAKE NECESSARY SLOPES FOR CUTS AND FILLS FOR FRANK W. FLOOD ROAD RECORDED IN VOLUME 29 ON PAGE 345 OF COMMISSIONER'S RECORDS.
- EASEMENT FOR WATER PIPELINE AND WATER SERVICE PER RECORDING NO. 3766695 (EXACT LOCATION IS NOT SPECIFIED).
- RIGHT TO MAKE NECESSARY SLOPES FOR CUTS AND FILLS PER RECORDING NO'S 4793511 AND 5056292.
- EASEMENT CONDEMNED IN KING COUNTY SUPERIOR COURT AND THE TERMS AND CONDITIONS THEREOF FOR ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINES PER CAUSE NO. 679116.
- EASEMENT CONDEMNED IN KING COUNTY SUPERIOR COURT AND THE TERMS AND CONDITIONS THEREOF FOR WATER PIPELINES PER CAUSE NO. 679116 (EXACT LOCATION IS NOT SPECIFIED).
- DECREE OF APPROPRIATION ENTERED IN KING COUNTY CAUSE NO. 541679 AND THE TERMS AND CONDITIONS THEREOF PER RECORDING NO. 5150805.
- EASEMENT FOR PUGET SOUND POWER AND LIGHT COMPANY GUY WIRE AND ANCHOR PER RECORDING NO. 6258135.
- NOTICE OF ADDITIONAL TAP AND CONNECTION CHARGES AND THE TERMS AND CONDITIONS THEREOF PER RECORDING NO. 7712060812.
- COVENANTS, CONDITIONS RESTRICTIONS, RECITALS, EASEMENTS AND OTHER TERMS AND CONDITIONS SHOWN ON MERCER ISLAND LOT LINE REVISION SUB15-018 PER RECORDING NO. 20160519900008.

LEGAL DESCRIPTION:

THE NORTH 200 FEET OF THE SOUTH 400 FEET OF VACATED BLOCK 4, LINDLEY ADDITION TO SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGE 103, RECORDS OF KING COUNTY, WASHINGTON.

TOGETHER WITH THAT PORTION OF VACATED 90TH AVENUE ADJOINING PURSUANT TO KING COUNTY SUPERIOR COURT CAUSE NO. 679116.

EXCEPT THE WEST 10 FEET THEREOF CONVEYED TO KING COUNTY FOR ROAD BY DEEDS RECORDED UNDER RECORDING NO. 5056292 AND RECORDING NO. 4793511.

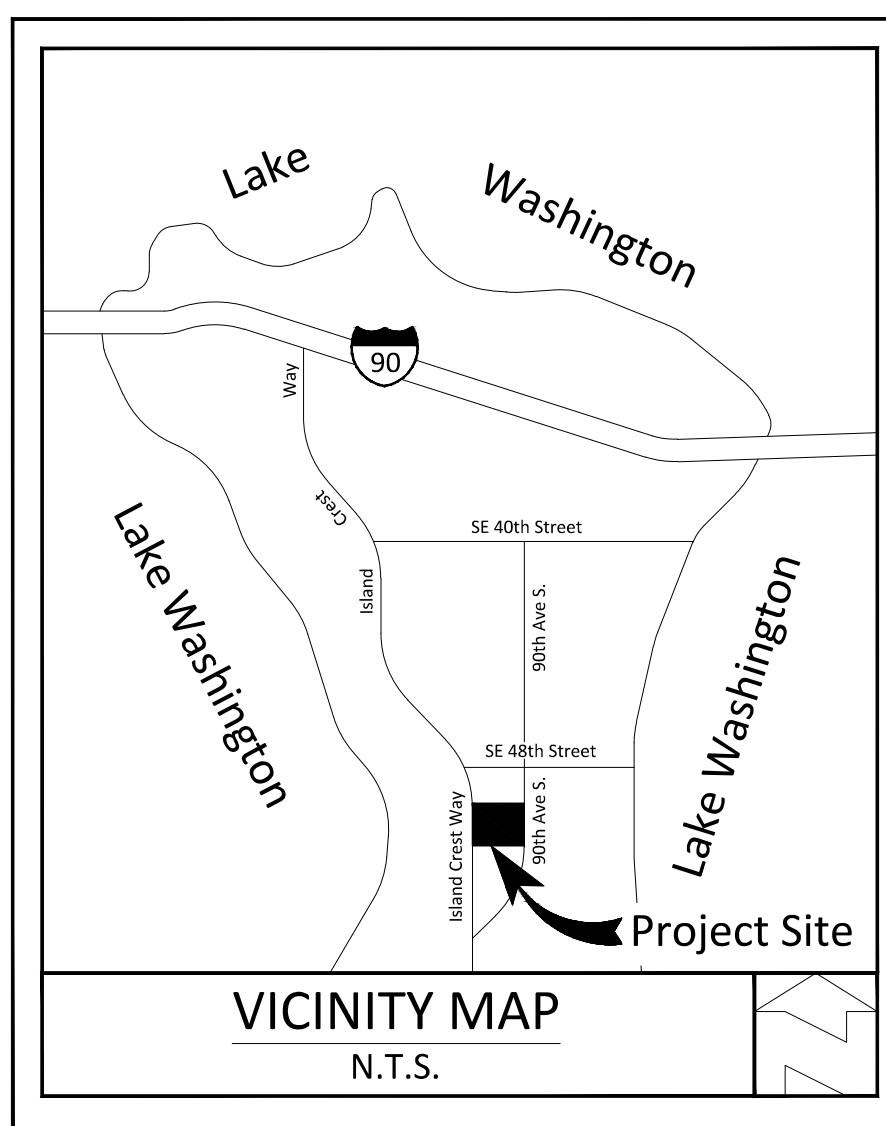
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REFERENCE SURVEYS:

- PLAT OF LINDLEY ADDITION TO SEATTLE, VOL. 3 PG. 103.
- MERCER ISLAND SHORT PLAT SUB12-0006, REC. NO. 20131220900005.
- MERCER ISLAND BOUNDARY LINE REVISION, REC. NO. 20160519900008.

TOPOGRAPHY SURVEY NOTES:

- BASIS OF BEARINGS IS THE WASHINGTON STATE PLANE COORDINATE SYSTEM, N.A.D. 1983/2011, BASED ON GPS TIES TO THE WASHINGTON STATE REFERENCE NETWORK WSRN).
- ELEVATION DATUM IS N.A.V.D. 1988 BASED ON GPS TIES TO THE WSRN.
- FIELD WORK WAS DONE IN MARCH OF 2022 USING A TRIMBLE R8 GNSS GPS RECEIVER, AND A SPECTRA PRECISION FOCUS 35 ROBOTIC TOTAL STATION IN ACCORDANCE WITH W.A.C. 332-130.
- THE PURPOSE OF THIS SURVEY IS TO PROVIDE A BASE MAP FOR CIVIL ENGINEERING DESIGN.
- THE CONTOURS SHOWN ARE DERIVED FROM DIRECT FIELD OBSERVATIONS. THE CONTOUR INTERVAL IS 2.0 FEET AND THE CONTOUR ACCURACY IS ONE HALF OF THE INTERVAL (±1.0 FEET).
- PROPERTY LINES SHOWN ARE BASED ON A FIELD SURVEY.
- THE LEGAL DESCRIPTION AND MATTERS OF RECORD ARE TAKEN FROM FIDELITY NATIONAL TITLE INSURANCE COMPANY, CERTIFICATE NUMBER 611311326, DATED FEBRUARY 10, 2022 AT 8:00 AM.
- THE UNDERGROUND UTILITIES SHOWN ARE BASED ON A COMBINATION OF PAINT MARKS PROVIDED BY APPLIED PROFESSIONAL SERVICES, INC, AND THE SURVEYED LOCATION OF OBVIOUS SURFACE FEATURES. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST ON AND AROUND THIS SITE.



Applicant / Project Owner
Mr. Jintao (Adison) Cui
Home-Link Capital LLC
 7683 SE 27th Street, Unit 186
 Mercer Island, WA 98040
 (206) 265 - 0810
 adisoncui@outlook.com

SHEETS INDEX

- C - 1.0 Cover Sheet Plan.
- C - 2.0 Conditions of Approval.
- C - 3.0 Existing Site Conditions Plan.
- C - 4.0 Site Layout and Easements Plan.
- C - 5.0 Developed Site Conditions Plan.
- C - 6.0 Temporary Erosion and Sedimentation Control Plan.
- C - 7.0 Grading and Drainage Plan.
- C - 8.0 Storm Water Detention Vault Plan.
- C - 9.0 Roads and Drainage Profile Design Plan.
- C - 9.1 Frontage and Off-Site Storm System Plan.
- C - 10.0 Water, Sewer, and Dry Utilities Plan.
- C - 11.0 Storm Water Standard Details Plan.
- C - 12.0 Water Standard Details Plan.
- C - 13.0 Sewer Standard Details Plan.
- C - 14.0 Standard Notes and Specification Plan.
- S 0.1 General Structural Notes.
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- S2.1 Elevations.
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- TR-02 Tree Planting Plan.

PLAT NOTE

All building permits are subject to meeting current fire code requirements at the time of permit submittal. Access and fire flow shall be provided as outlined in the International Fire Code Appendix B, C, D and applicable City Code. Fire plan reviews will be conducted at the time of building permit submittal and may require additional fire protection systems and/or additional fire prevention measures for building approval." because this plan is site development plan not building plan. These three items will be included and determined in building permit application.

CONSTRUCTION REQUIREMENTS - GENERAL

- All improvements shall be installed pursuant to plans approved by the City in accordance with the approved construction schedule.
- All construction shall conform to the Standards and Specifications of the City of Mercer Island, conditions of permits issued, the geotechnical evaluation recommendations and construction plans accepted by the City. The Engineer of record may be required to monitor the construction, erosion control, site stabilization measures and provide inspection reports to the City Engineer that document all of the work performed.
- The season for clearing, grading and the construction of utilities, storm drainage facilities, roadways and retaining walls shall not begin until April 1, and shall end by October 1 of any year, unless otherwise approved by the Code Official and City Engineer.
- All improvements shall be constructed in a manner that protects trees to be saved and retains as much natural vegetation as possible.
- The type of equipment to be used for land clearing and roadway and utilities construction shall be defined at the pre-construction conference with the City. The necessary development and ROW Use permits shall be obtained prior to moving equipment onto the site.
- The City Engineer may require that certain improvements be hand dug.
- The City may require that specific clearing, grading, excavation, or sensitive construction work be evaluated and detailed by a geotechnical engineer. As a condition for completion of the work, the City may require that the engineer be present during the work to monitor and review site conditions, and to recommend appropriate special construction techniques or mitigating measure.
- All damage to adjacent properties or public rights of way resulting from construction (e.g., situation, mud, water runoff, roadway damage caused by construction equipment or hauling) shall be expeditiously mitigated and repaired by the contractor, at their expense. Failure to mitigate and repair said damage, or to comply with the accepted construction plans, the permits issued by the City, or the City requirement for corrective action shall be cause for the issuance of a "Stop Work" order, foreclosure on the plat performance guarantee, and/or other measures deemed appropriate by the City Engineer.
- Following construction, the geotechnical engineer shall submit a letter to the City containing the following statements: This construction has been completed substantially in accordance with recommendations contained within the geotechnical investigation and evaluation report and made in connection with our on-site monitoring of the activities.
- Following construction, the project civil engineer shall submit a letter to the City containing the following statement: This construction has been completed substantially in accordance with recommendations contained within the storm drainage technical information report, approved plan set, and our on-site monitoring of the activities.
- The Developer shall submit as-built drawings surveyed by a Washington State Licensed Professional Land Surveyor of all utility lines, storm drain stubs, water service lines, and detailed side sewer stubs or connections to the municipal sewage collection system for each lot prior to final inspection. As-Built plan should be provided in hardcopy, AutoCAD, DXF, and PDF format to be incorporated into the City's GIS system.

PRE-CONSTRUCTION REQUIREMENTS

Prior to commencement of construction, including clearing and grading, the following shall occur:

- All requisite permits shall be obtained.
- Traffic Control Plan and ROW Permit approved by the City.
- Developer shall provide a performance guarantee in accordance with MICC 19.01.060 and 19.09.040.
- Pre-construction conference held with the developer/contractor.
- Developer/contractor shall submit a detailed construction schedule itemizing all major activities.
- Provide videotape or photo documentation of existing road, access easements and right of way within 1/4 mile of the site to the City showing pre-construction conditions. The burden of proof rests with the applicant to prove that any public facility damage was a pre-existing condition or was caused by another party. Any damage to public facilities deemed the responsibility of the applicant as determined by the City Engineer shall be restored at the applicant's cost.
- Tree protection measures must be in place and inspected before any work on site is started. No trees SHALL BE CUT WITHOUT A TREE PERMIT.
- Provide a statement, in substantially the following form signed by the developer's geotechnical engineer, shall be included on the construction plans when required by the City Engineer.
 I have reviewed the construction plans prepared by _____ dated _____ for conformance with the geotechnical evaluation and recommendations contained within my geotechnical report dated _____. It is my opinion that the recommendations presented in my soil report have been incorporated into the above referenced plans in accordance with my intent.

 I do certify that our firm:
 1) Has been retained by the developer to monitor the construction for compliance with the recommendations and implementation measures contained in my geotechnical report.
 2) Will, if deemed necessary by the City, provide, in a timely manner, additional construction recommendations and suggested construction modifications; and
 3) Will promptly submit monitoring information and any recommendations to the City Engineer and Code Official for review.

CITY OF MERCER ISLAND APPROVAL

DATE: _____

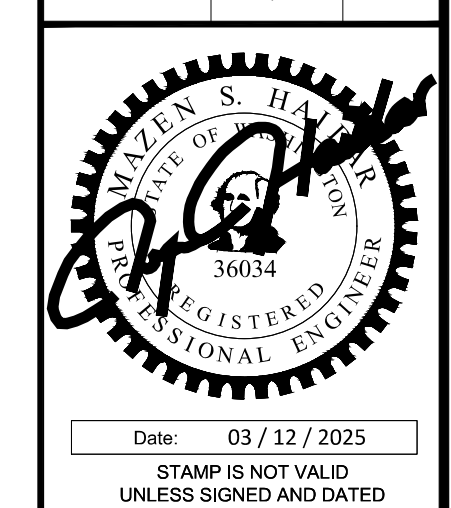
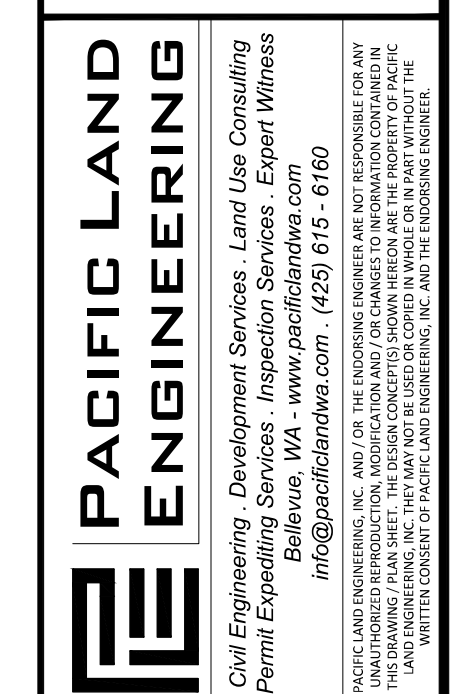
CODE OFFICIAL: _____

DATE: _____

CITY ENGINEER: _____

Revisions
 No. Date By
 SUB22 - 009, Site Development Permit # 2409 - 065
 Cover Sheet Plan

Plan Plotted For :
 Second Submittal



Date: 03 / 12 / 2025

STAMP IS NOT VALID UNLESS SIGNED AND DATED

Job Number: 240215 - PLE - 2401

DWG Date: 03 / 12 / 2025

Sheet No. C - 1.0 OF C - 14.0

CONDITIONS OF APPROVAL

The following conditions shall be binding on the "Applicant," which shall include the owner or owners of the property, heirs, assign and successors.

General

1. The final plat shall be designed substantially in conformance with the preliminary plat of record submitted as part of this short plat application, Exhibit 5, and as required to be amended by the Conditions of Approval.
2. The proposed and future development of this property shall comply with the zoning district or as amended at the time of development.
3. The removal of native vegetation is to be minimized and limited to active construction areas.
4. The applicant has five years to submit a final short plat meeting all requirements of the Conditions of Approval. A short plat that has not been recorded within five years after its preliminary approval shall expire, becoming null and void.
5. Land contained in the short subdivision may not be further divided in any manner for a period of five years after the recording of the final plat with King County without the filing of a long subdivision plat; however, an alteration to the short subdivision is permitted so long as no more than four lots are created through the total short subdivision process.
6. The future and proposed development of this property shall comply with the standards in MICC 19.07, Environment.
7. The following note shall be shown on the face of the plat:
 - a. Lots 1, 2, 3, and 4 shall use the proposed shared access and utility tract to access 90th Avenue SE and to connect to city utilities.
 - b. All buildings are subject to meeting current fire core requirements at the time of a complete building permit submittal, including fire apparatus access as outlined in code sections of the International Fire Core Appendix D. Fire plan reviews will be conducted at the time of building permit submittal and may require additional fire protection systems and/or additional fire prevention measures for building permit approval.

Arborist

8. No tree identified for retention may be removed unless otherwise approved by the City Arborist.
9. The tree retention plan on Sheet TR-01 of Exhibit 5 and the Tree Inventory Worksheet (Exhibit 10) shall be updated to include trees 14 and 23 which were removed prior to the development application for the short subdivision over the rolling five-year period, as described in MICC 19.10.060(A)(5).

Engineering

10. Show all the existing and proposed easements on the final plat. Clearly indicate that all easements are private easements.
11. Easements for shared access, utilities and storm drainage facilities shall be depicted on the face of the final short plat. Language which indicates joint rights and responsibilities of each lot with respect to all utilities and roadways shall be shown along with individual lot Joint Maintenance Easement Agreements (where applicable) for all shared usage and filed with the King County Recorder and noted on the final short plat. The easement shall indicate whether it is public or private, existing, or proposed.
12. Damage to adjacent properties or public rights-of-way resulting from construction (e.g., siltation, mud, runoff, roadway damage caused by construction equipment or hauling) shall be expeditiously mitigated and repaired by the contractor, at no expense to the City. Failure to mitigate and repair said damage, or to comply with the approved construction plans, the permits issued by the City, or the City requirement for corrective action may be cause for the issuance of a "Stop Work" order, foreclosure on the plat bond/security, and/or other measures deemed appropriate by the City Engineer or Code Official to ensure construction consistent with the approved plans and protection of public safety.
13. The final short plat shall be prepared in conformance with Title 58 RCW and surveys shall comply with Chapter 332-130 WAC. The final short plat shall be submitted using Mercer Island's datum and be tied to at least two City monuments.
14. A City of Mercer Island title block for approval signatures (Planner and City Engineer) shall be provided on the final plat along with the designated short plat number.
15. Construction of all improvements for access, utilities, storm drainage, and site work shall comply with current City ordinances and standards.
16. All utilities serving the short plat shall be undergrounded (MICC 19.08.040) and shall be designed and constructed in accordance with City of Mercer Island Ordinances.
17. Short plat improvement plans prepared by a Washington State licensed engineer shall be submitted for review and approval by the City Engineer. The improvement plans shall include the following:
 - a. Short plat access road -- Comply with the Fire Code requirements and standards contained in MICC 19.09.040.
 - b. Temporary erosion control measures.
 - c. Grading plan.
 - d. Water main, water meters, and appurtenances.
 - i. Provide water services for each lot. Locate water meters outside of the future driveway areas and any paved areas.
 - ii. Abandon all existing water services currently serving the existing lot at the City water main.
 - e. Sanitary sewer and appurtenances.
 - i. Provide sewer connections for each lot. Show the sanitary sewer stub outs for each lot.
 - ii. The side sewer for all lots shall be a shared side sewer with one single connection to the city sewer main.
 - iii. The sanitary sewer system serving all lots will be a private sewer system.
 - f. Stormwater.
 - i. Provide drainage improvements in compliance with MICC 15.09.
 - ii. Show the storm drainage stub outs for all lots.
 - iii. The existing drainage ditch along 90 h Ave SE shall be piped.
 - g. Dry utilities.
 - i. Show the proposed dry (power, gas, etc.) utility corridor on the plan.
18. Right-of-Way Restoration and roadway replacement limits shall be determined by the City Engineer prior to final inspection of the Site Development Permit.
19. All plat improvements shall be completed prior to final short plat approval and prior to issuance of building permits. A survey grade as-built drawing in PDF format that shows all utilities and plat improvements shall be submitted to the City Engineer upon completion of the work.

20. The following notes shall be shown on the face of the plat:

- a. Maintenance and repair of the private sanitary sewer system and joint use side sewers (sewer lines from the building to the private sewer main), shared roads, access easements, public trail, private storm drainage facilities shall be the responsibility of the owners of each lot served (with the exception that owners of any lot which is lower in elevation shall not be responsible for that portion of a private side sewer above their connection). If maintenance and repair of any facilities enumerated above are not performed to the satisfaction of the City Engineer, after a timely demand has been made for such action, the City or its agent shall have the right to enter upon the premises and perform the necessary maintenance and repair to protect the safety and general welfare of the public and shall have the right to charge the owner of each lot an equal share of the total maintenance and repair costs. The City or the owner of any lot within this short plat shall have the right to bring action in Superior Court to require any maintenance or repair and to recover the costs incurred in making or effecting repairs to improvements.
- b. Private stormwater facilities shall be inspected and maintained in conformance with MICC 15.09.070.
- c. All staging for construction shall occur on site and shall not be located in the public right-of-way.
- d. No permanent landscaping, structures, or fences shall be placed on or within public utility, storm drainage, or pedestrian path easements without written approval of the City Engineer.
- e. If, in the opinion of the City Engineer, utilities or storm drainage facilities require maintenance, repair, or replacement, the City or its agent shall have the right to enter those lots adjoining the facility for the purpose of maintaining, repairing, relocating, or replacing said facilities.
- f. Installation of landscaping and/or structures including trees, shrubs, rocks, berms, walls, gates, and other improvements are not allowed within the public right-of-way without an approved encroachment agreement from the City prior to the work occurring (MICC 19.06.060).

DECISION

Based upon the above noted Findings of Fact and Conclusions of Law, Preliminary Short Subdivision application SUB22-009, as depicted in Exhibit 5, is hereby APPROVED with conditions. This decision is final, unless appealed in writing consistent with adopted appeal procedures, MICC 19.15.130, and all other applicable appeal regulations.

Planner

Community Planning & Development City of Mercer Island

Revisions
No. Date By

SUB22 - 009, Site Development Permit # 2409 - 065

Conditions of Approval Plan

Plan Plotted For :
Second Submittal

PACIFIC LAND ENGINEERING
Civil Engineering - Development Services - Land Use Consulting
Permit Expedite - Surveying - Surveying - Surveying
Bellevue, WA - www.pacificlandwa.com - (425) 615-6160
info@pacificlandwa.com

PACIFIC LAND ENGINEERING, INC. AND/OR THE INDIVIDUAL ENGINEERS ARE NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING. PLAN SHEET NO. 2409-065-001-001. THIS DRAWING IS THE PROPERTY OF PACIFIC LAND ENGINEERING, INC. AND THE ENGINEERING CONTRACTOR. ANY REPRODUCTION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF PACIFIC LAND ENGINEERING, INC. AND THE ENGINEERING CONTRACTOR IS STRICTLY PROHIBITED.



Date: 03 / 12 / 2025
STAMP IS NOT VALID UNLESS SIGNED AND DATED

CITY OF MERCER ISLAND APPROVAL		Job Number: 240215 - PLE - 2401
DATE: _____	CODE OFFICIAL: _____	DWG Date: 03 / 12 / 2025
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SEC. 19, T.24N., R.5E., W.M.

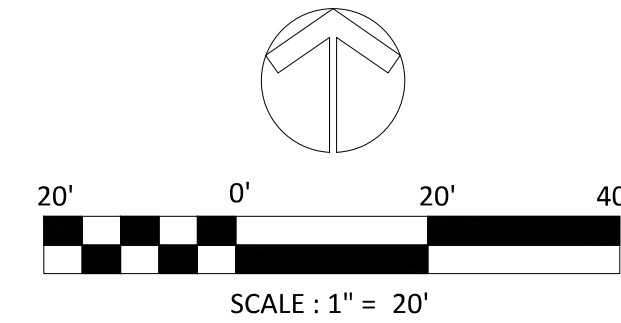
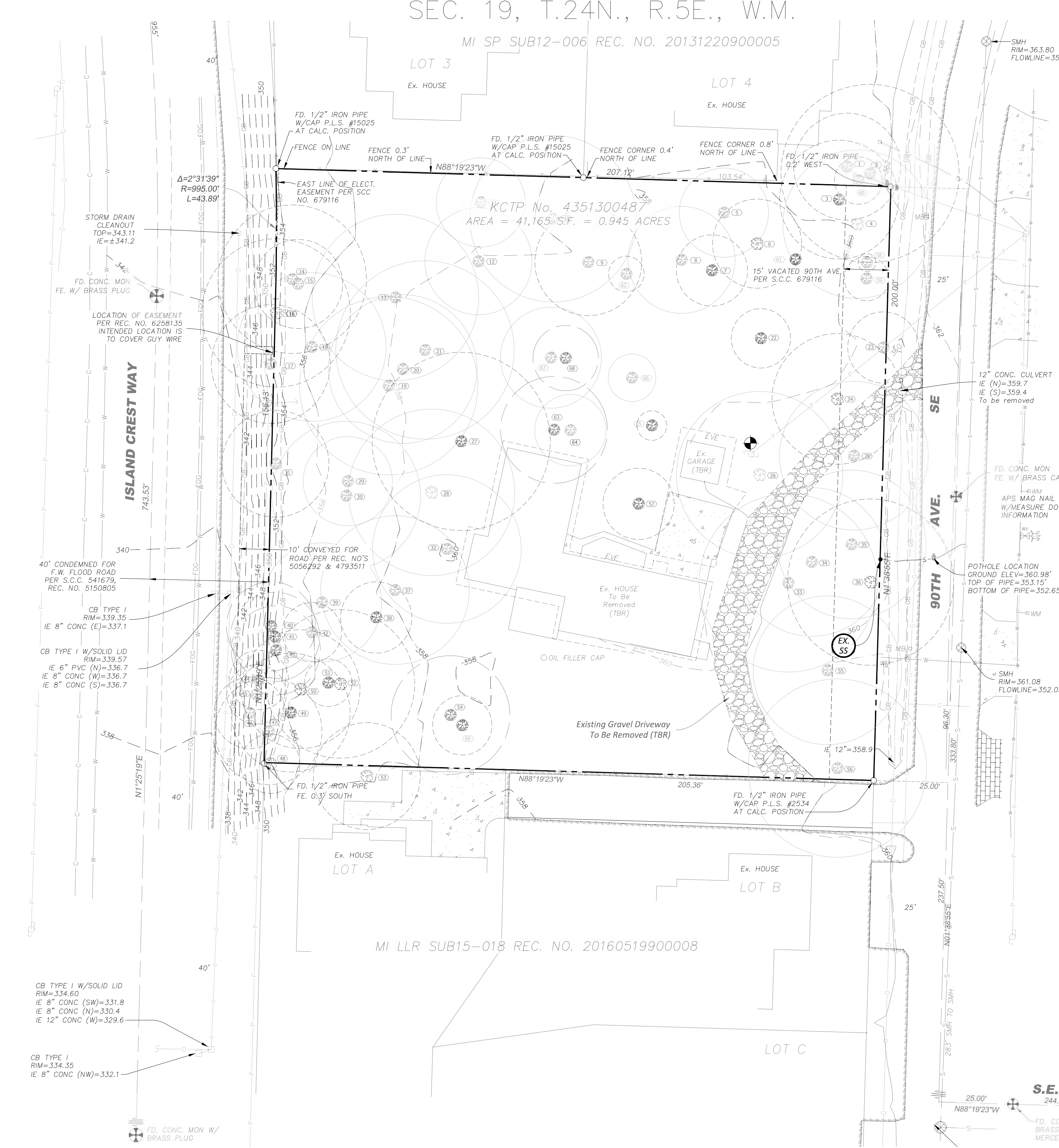
MI SP SUB12-006 REC. NO. 20131220900005

LOT 3
Ex. HOUSE

LOT 4
Ex. HOUSE

KCTP No. 435130048
AREA = 41,165 S.F. = 0.945 ACRES

MI LLR SUB15-018 REC. NO. 20160519900008



- LEGEND:
- POWER POLE
- GUY POLE
- GUY ANCHOR
- OVERHEAD POWER
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- WATER LINE (PAINTED LOCATION)
- UNDERGROUND COMMUNICATION (PAINTED LOCATION)
- TELEVISION RISER
- UNDERGROUND TELEVISION (PAINTED LOCATION)
- CATCH BASIN
- STORM DRAIN LINE/CULVERT
- GAS VALVE
- UNDERGROUND GAS LINE (PAINTED LOCATION)
- SEWER MANHOLE
- SEWER LINE
- MAIL BOX
- EVERGREEN TREE
- DECIDUOUS TREE
- WOOD BOARD FENCE LINE
- FOG LINE (LANE STRIPE)
- DITCH LINE
- GRADE BREAK
- EDGE OF PAVEMENT/CURB LINE
- CONCRETE
- CONCRETE PAVERS
- GRAVEL
- TBM = 60D SPIKE IN POWER POLE ELEV = 361.47 (NAVD 1988)

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Call Before You Dig
811 OR 1-800-424-5555

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SURVEYOR'S CERTIFICATE:
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE REQUEST OF HOME LINK CAPITAL LLC IM MARCH OF 2022

ROBERT J. BOGDON
CERTIFICATE NO. 33487

By Site Survey, Pothole Location
Existing Ground Elevation = 360.16'
Top of Existing Side Sewer Pipe Elevation = 352.41'
Bottom of Existing Side Sewer Pipe Elevation = 351.91'

Property Owner: Mr. Jintao (Adison) Cui
Home - Link Capital LLC
7683 SE 27th Street, Unit 186
Mercer Island, WA 98040
Email: adisoncui@outlook.com (206) 265 - 0810
Project Engineer: Mazen Haidar, PE
Pacific Land Engineering
mazen@pacificlandwa.com (206) 615 - 6160

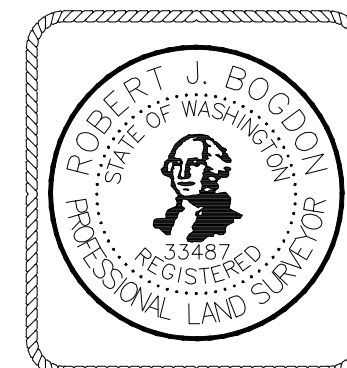
Project Contact: Mr. Jintao (Adison) Cui
Home - Link Capital LLC
7683 SE 27th Street, Unit 186
Mercer Island, WA 98040
Email: adisoncui@outlook.com (206) 265 - 0810
Project Surveyor: Robert Bogdon, PLS
Eastside Consultants, Inc.
1320 N.W. Mall Street, Suite B
Bellevue, WA 98009 (425) 392 - 5351

Mercer Island Fire Department
4160 86th Ave SE
Mercer Island, WA 98040 (206) 236 - 3330
Telephone and Cable Comcast
P. O. Box 60533
City of Industry, CA 91716 (800) 934 - 6489

Mercer Island School District
4160 86th Ave SE
Mercer Island, WA 98040 (206) 236 - 3330
Power and Gas Source Puget Sound Energy (PSE)
P. O. Box 91269
Bellevue, WA 98009 (888) 321 - 7779

Water Purveyor City of Mercer Island
9611 SE 36th Street
Mercer Island, WA 98040 (206) 275 - 7602
Sewer Purveyor King County
201 South Jackson Street
Seattle, WA 98104 (206) 296 - 1450

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AND EXCEPT THAT PORTION THEREOF APPROPRIATED IN KING COUNTY SUPERIOR COURT CAUSE NO. 541679, RECORDED UNDER RECORDING NO. 4793511.



ENGINEERS - SURVEYORS
EASTSIDE CONSULTANTS, INC.
1320 N.W. MALL ST., SUITE B
ISSAQUAH, WASHINGTON 98027
PH: (425) 392-5351 FAX: 392-4676



CITY OF MERCER ISLAND APPROVAL
DATE:
CODE OFFICIAL:
DATE:
CITY ENGINEER:

Job Number: 240215 - PLE - 2401
DWG Date: 03 / 12 / 2025
Sheet No. C - 3.0 OF C - 14.0

Revisions table with columns for No., Date, and By.
SUB22 - 009, Site Development Permit # 2409 - 065
Existing Site Condition Plan

PACIFIC LAND ENGINEERING logo and contact information.
Civil Engineering, Development Services - Land Use Consulting, Permit Expediter, Surveying, Environmental Witness, Bellevue, WA - www.pacificlandwa.com (425) 615 - 6160
Professional Engineer Seal for Robert J. Bogdon.

MATTERS OF RECORD:

THE HEREIN DESCRIBED PROPERTY IS SUBJECT TO THE FOLLOWING EASEMENTS AND ENCUMBRANCES OF RECORD:

- COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS EASEMENTS AND OTHER TERMS AND CONDITIONS SHOWN ON LINDLEY ADDITION TO SEATTLE PER RECORDING NO. 32487
- RIGHT TO MAKE NECESSARY SLOPES FOR CUTS AND FILLS FOR FRANK W. FLOOD ROAD RECORDED IN VOLUME 29 ON PAGE 345 OF COMMISSIONER'S RECORDS.
- EASEMENT FOR WATER PIPELINE AND WATER SERVICE PER RECORDING NO. 3766695 (EXACT LOCATION IS NOT SPECIFIED).
- RIGHT TO MAKE NECESSARY SLOPES FOR CUTS AND FILLS PER RECORDING NO'S 4793511 AND 5056292.
- EASEMENT CONDEMNED IN KING COUNTY SUPERIOR COURT AND THE TERMS AND CONDITIONS THEREOF FOR ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINES PER CAUSE NO. 679116.
- EASEMENT CONDEMNED IN KING COUNTY SUPERIOR COURT AND THE TERMS AND CONDITIONS THEREOF FOR WATER PIPELINES PER CAUSE NO. 679116 (EXACT LOCATION IS NOT SPECIFIED).
- DECREE OF APPROPRIATION ENTERED IN KING COUNTY CAUSE NO. 541679 AND THE TERMS AND CONDITIONS THEREOF PER RECORDING NO. 5150805.
- EASEMENT FOR PUGET SOUND POWER AND LIGHT COMPANY GUY WIRE AND ANCHOR PER RECORDING NO. 6258135.
- NOTICE OF ADDITIONAL TAP AND CONNECTION CHARGES AND THE TERMS AND CONDITIONS THEREOF PER RECORDING NO. 7712060812.
- COVENANTS, CONDITIONS RESTRICTIONS, RECITALS, EASEMENTS AND OTHER TERMS AND CONDITIONS SHOWN ON MERCER ISLAND LOT LINE REVISION SUB15-018 PER RECORDING NO. 20160519900008.

LEGAL DESCRIPTION:

THE NORTH 200 FEET OF THE SOUTH 400 FEET OF VACATED BLOCK 4, LINDLEY ADDITION TO SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGE 103, RECORDS OF KING COUNTY, WASHINGTON.

TOGETHER WITH THAT PORTION OF VACATED 90TH AVENUE ADJOINING PURSUANT TO KING COUNTY SUPERIOR COURT CAUSE NO. 679116.

EXCEPT THE WEST 10 FEET THEREOF CONVEYED TO KING COUNTY FOR ROAD BY DEEDS RECORDED UNDER RECORDING NO. 5056292 AND RECORDING NO. 4793511.

AND EXCEPT THAT PORTION THEREOF APPROPRIATED IN KING COUNTY SUPERIOR COURT CAUSE NO. 541679, RECORDED UNDER RECORDING NO. 4793511.

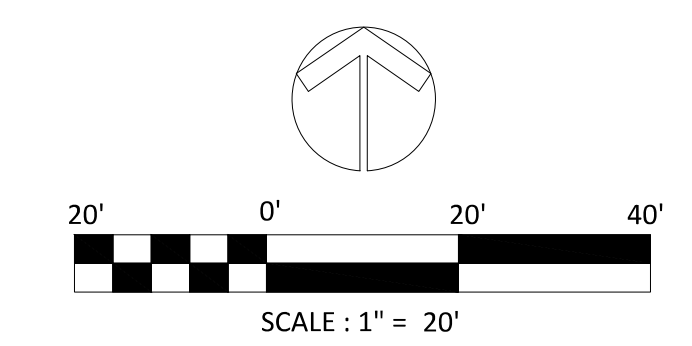
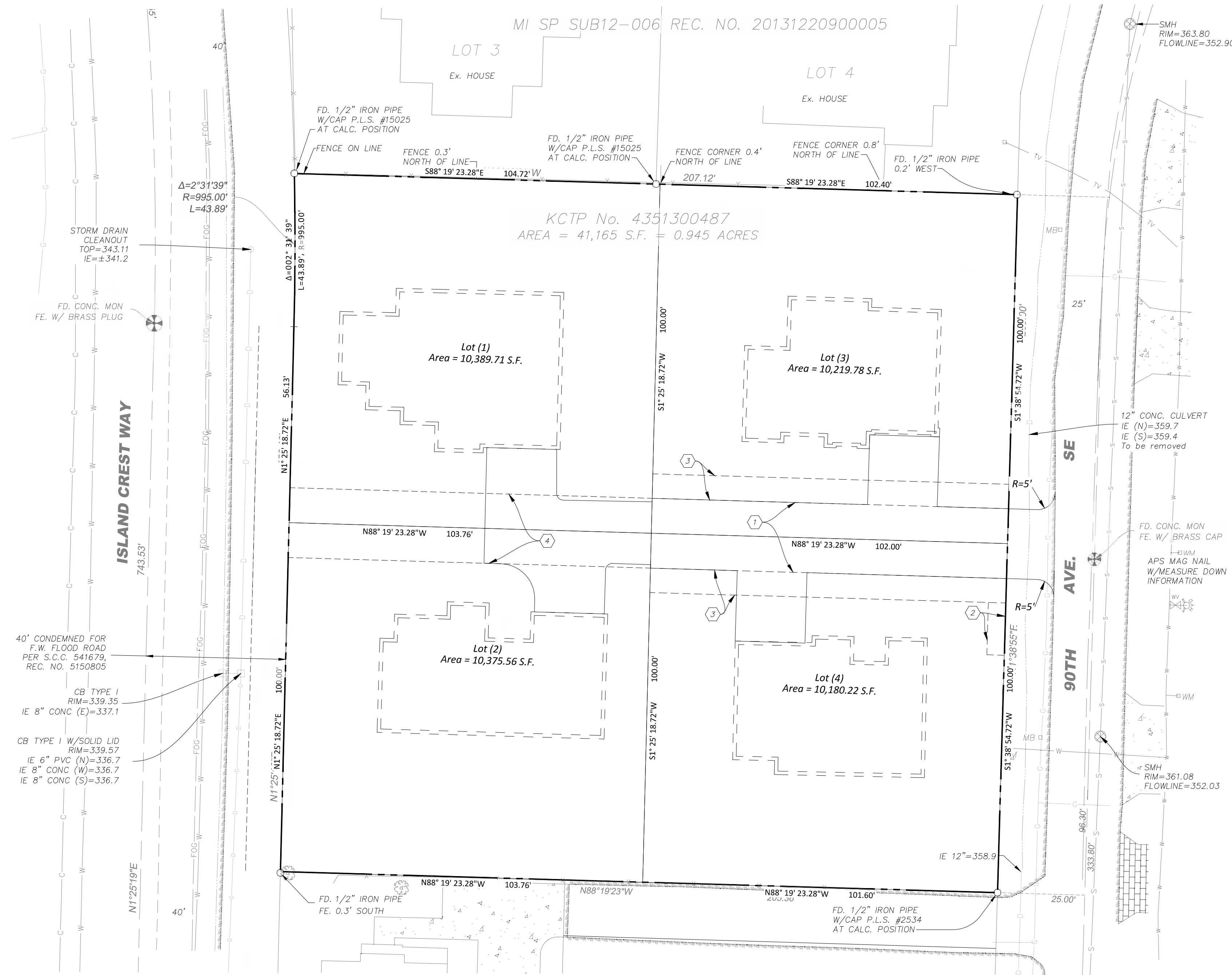
REFERENCE SURVEYS:

- PLAT OF LINDLEY ADDITION TO SEATTLE, VOL. 3 PG. 103.
- MERCER ISLAND SHORT PLAT SUB12-0006, REC. NO. 20131220900005.
- MERCER ISLAND BOUNDARY LINE REVISION, REC. NO. 20160519900008.

TOPOGRAPHY SURVEY NOTES:

- BASIS OF BEARINGS IS THE WASHINGTON STATE PLANE COORDINATE SYSTEM, N.A.D. 1983/2011, BASED ON GPS TIES TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN).
- ELEVATION DATUM IS N.A.V.D. 1988 BASED ON GPS TIES TO THE WSRN.
- FIELD WORK WAS DONE IN MARCH OF 2022 USING A TRIMBLE R8 GNSS GPS RECEIVER, AND A SPECTRA PRECISION FOCUS 35 ROBOTIC TOTAL STATION IN ACCORDANCE WITH W.A.C. 332-130.
- THE PURPOSE OF THIS SURVEY IS TO PROVIDE A BASE MAP FOR CIVIL ENGINEERING DESIGN.
- THE CONTOURS SHOWN ARE DERIVED FROM DIRECT FIELD OBSERVATIONS. THE CONTOUR INTERVAL IS 2.0 FEET AND THE CONTOUR ACCURACY IS ONE HALF OF THE INTERVAL (±1.0 FEET).
- PROPERTY LINES SHOWN ARE BASED ON A FIELD SURVEY.
- THE LEGAL DESCRIPTION AND MATTERS OF RECORD ARE TAKEN FROM FIDELITY NATIONAL TITLE INSURANCE COMPANY, CERTIFICATE NUMBER 611311326, DATED FEBRUARY 10, 2022 AT 8:00 AM.
- THE UNDERGROUND UTILITIES SHOWN ARE BASED ON A COMBINATION OF PAINT MARKS PROVIDED BY APPLIED PROFESSIONAL SERVICES, INC. AND THE SURVEYED LOCATION OF OBVIOUS SURFACE FEATURES. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST ON AND AROUND THIS SITE.

SEC. 19, T.24N., R.5E., W.M.



- LEGEND:**
- POWER POLE
 - GUY ANCHOR
 - OVERHEAD POWER
 - FIRE HYDRANT
 - WATER VALVE
 - WATER METER
 - WATER LINE (PAINTED LOCATION)
 - UNDERGROUND COMMUNICATION (PAINTED LOCATION)
 - TELEVISION RISER
 - UNDERGROUND TELEVISION (PAINTED LOCATION)
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 - CONCRETE PAVERS
 - GRAVEL
 - TBM = 60D SPIKE IN POWER POLE ELEV = 361.47 (NAVD 1988)

----- Future Building Pads.

- 1 Proposed 20' X 102' Private Access and Drainage Easement.
- 2 Proposed 5' X 15' Access and Sewer Easement.
- 3 Proposed 7' X 102' private ingress / egress and utilities easement.
- 4 Proposed 20' X 103.76' Private Drainage and Access Easement.

Revisions	No.	Date	By

SUB22 - 009, Site Development Permit # 2409 - 065
 Site Layouts and Easements Plan

Plan Plotted For:
Second Submittal

PACIFIC LAND ENGINEERING
 Civil Engineering - Development Services - Land Use Consulting
 Permit Expediter - Survey - Survey Witness
 Bellevue, WA - www.pacificlandwa.com - (425) 615-6160
 info@pacificlandwa.com

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DATE: 03 / 12 / 2025
 STAMP IS NOT VALID UNLESS SIGNED AND DATED

CITY OF MERCER ISLAND APPROVAL	
DATE: _____	Job Number: 240215 - PLE - 2401
CODE OFFICIAL: _____	DWG Date: 03 / 12 / 2025
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CITY ENGINEER: _____	OF C - 14.0

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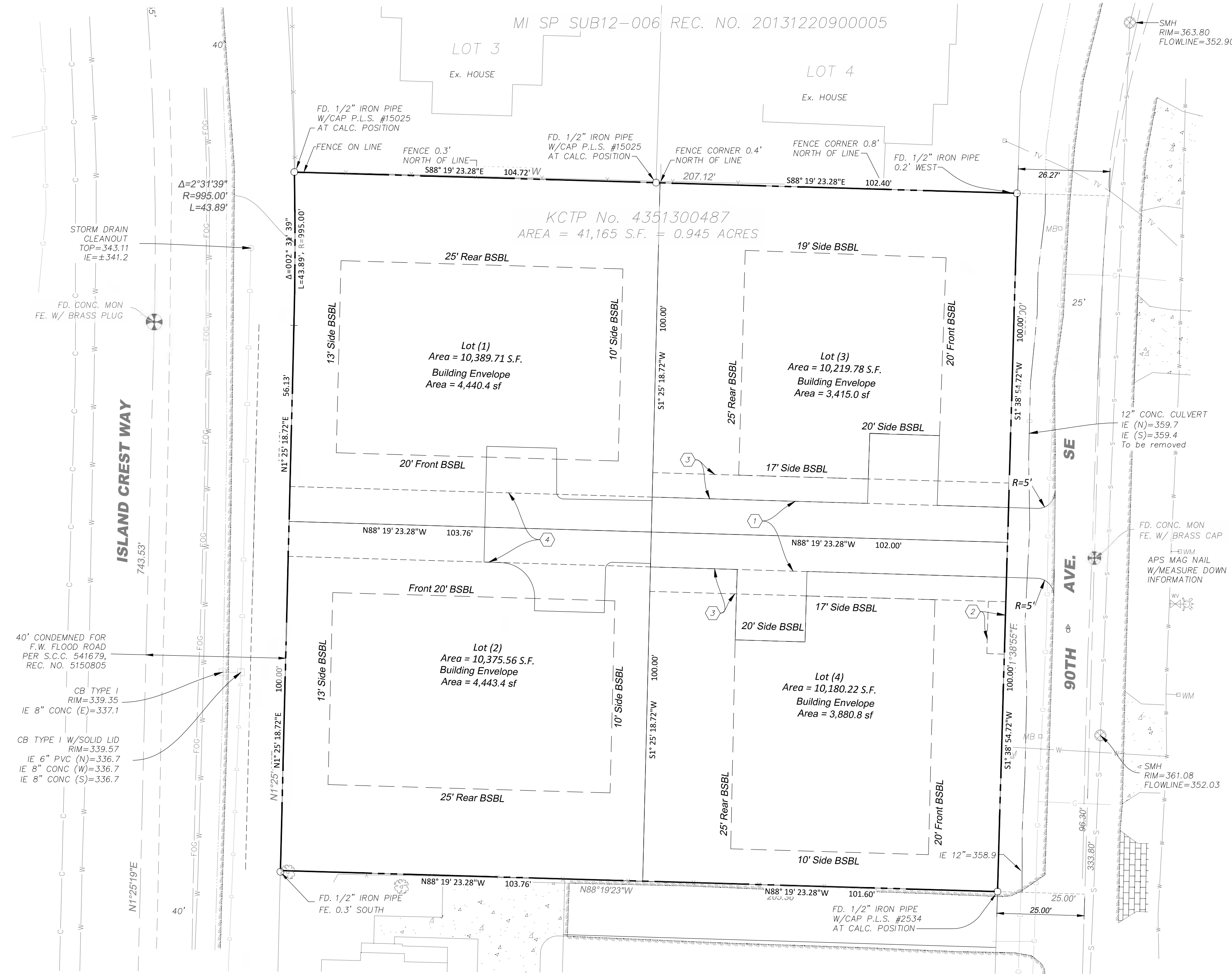
REFERENCE SURVEYS:

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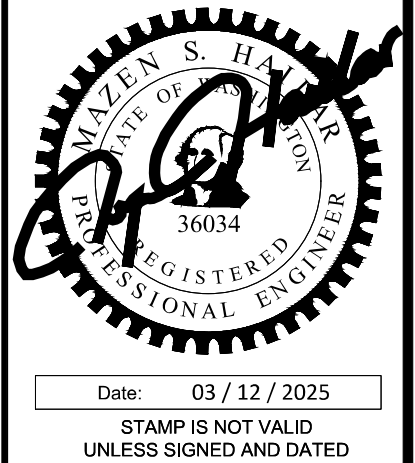
Revisions	No.	Date	By

SUB22 - 009, Site Development Permit # 2409 - 065
 Developed Site Conditions Plan

Plan Plotted For:
Second Submittal

PACIFIC LAND ENGINEERING
 Civil Engineering - Development Services - Land Use Consulting
 Permit Expediter - Survey - Expert Witness
 Bellevue, WA - www.pacificlandwa.com - (425) 615-6160
 info@pacificlandwa.com

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Date: 03/12/2025	Job Number: 240215 - PLE - 2401
STAMP IS NOT VALID UNLESS SIGNED AND DATED	DWG Date: 03/12/2025
	Sheet No. C - 5.0
	OF C - 14.0

CITY OF MERCER ISLAND APPROVAL

DATE: _____

CODE OFFICIAL: _____

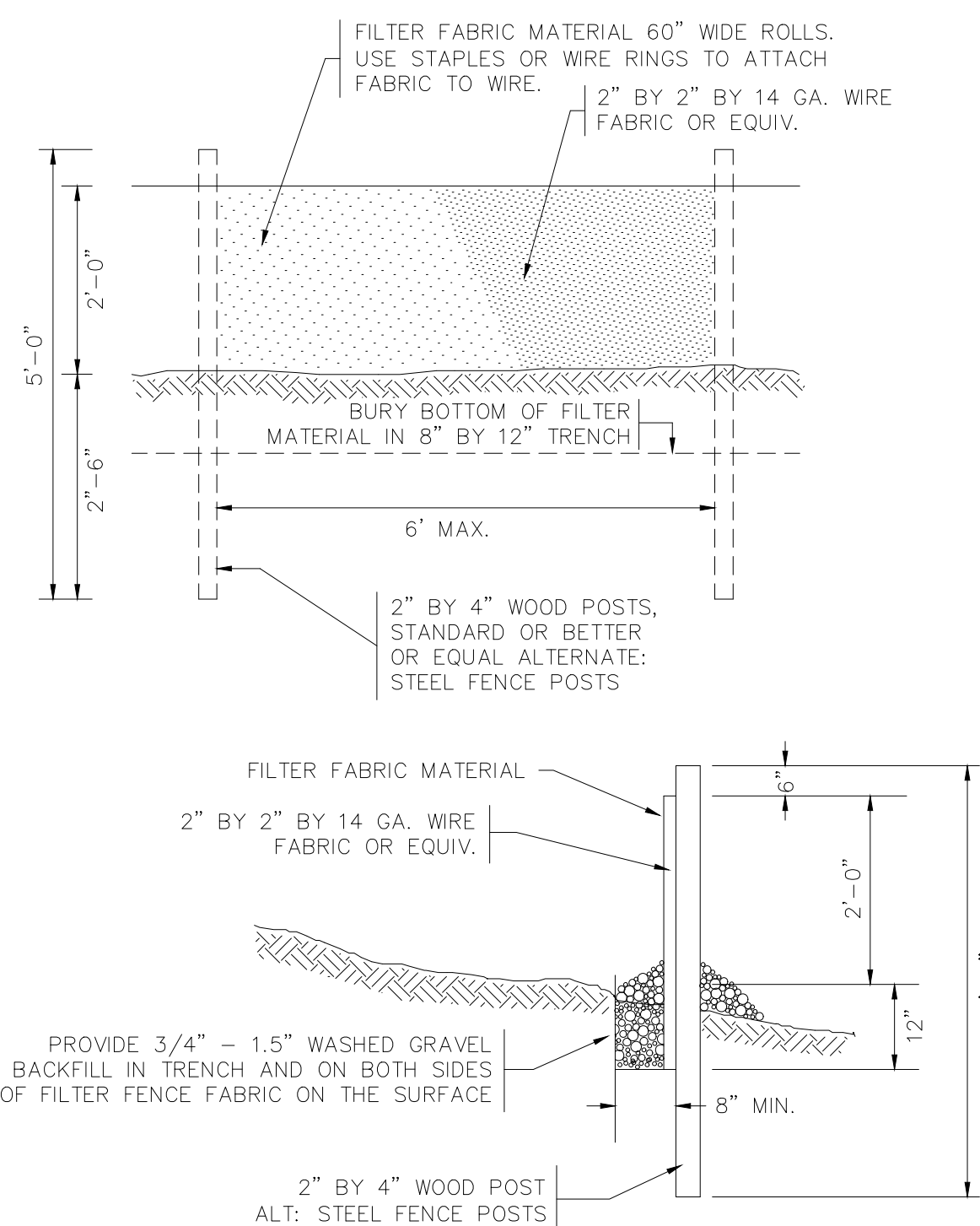
DATE: _____

CITY ENGINEER: _____

RECOMMENDED CONSTRUCTION SEQUENCE:

A recommended construction sequence is provided below:

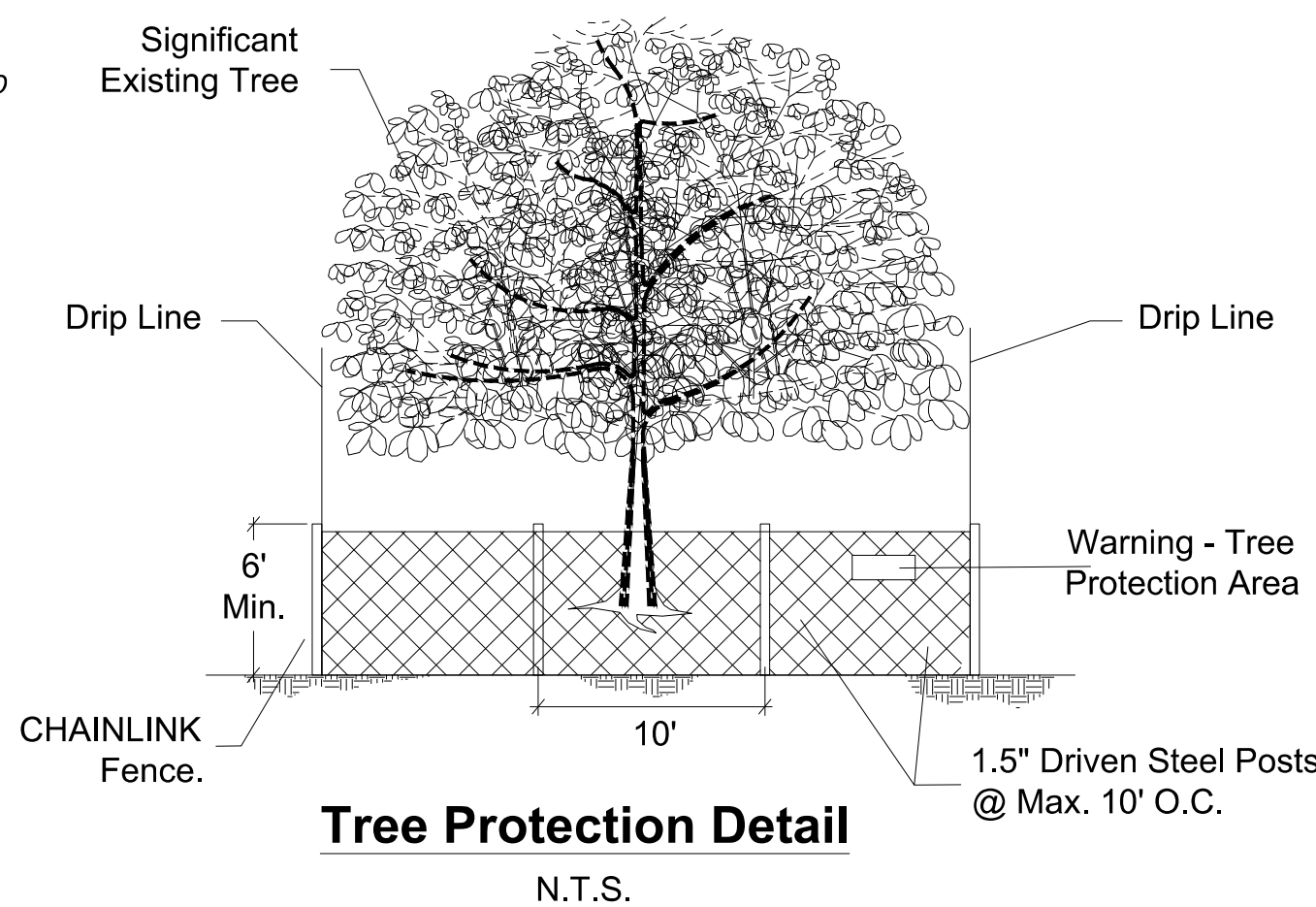
1. Mail written notices of up-coming construction activities to all neighbors within 300' from the subject site.
2. Flag / mark all limits of clearing.
3. Install Silt Fence measure at clearing limits
4. Flag / mark all trees to be protected.
5. Install Trees protection fence around all trees to be protected. Call of city inspection and approval of protected trees protection prior to start of construction of proposed improvements.
6. Hold the pre-construction meeting, when and if required by the City of Mercer Island.
7. Flag / mark areas of Stock Piles and construction vehicle parking area.
8. Post sign with name and phone number of TESC supervisor.
9. Install catch basin protection within 100' of the subject project limits.
10. Grade and install construction entrances.
11. Grade and stabilize construction roads.
12. Construct surface water controls (interceptor dikes, pipe slope drains, etc.) simultaneously with clearing and grading for project development.
13. Maintain erosion control measures in accordance with City of Mercer Island Standards / code requirements, and per manufacturer's recommendations.
14. Relocate erosion control measure, or install new measures so that if the site conditions change, the erosion and sediment control is always in accordance with the City of Mercer Island Standards / code requirements.
15. Cover all site areas that will be unworked for more than seven days during the dry season or two days during the wet season with straw. Covers can be wood fiber mulch, compost, plastic sheeting, or as approved by city of Mercer Island Inspector.
16. Stabilize all site areas within seven days of reaching final grade.
17. Seed, sod, stabilize, or cover any areas to remain unworked for more than 30 days.
18. Restore all disturbed outside of construction site (if any) to its original conditions.
19. Upon completion of the project, stabilize all disturbed areas and remove.
20. Call for and obtain final approval from City of Mercer Island Inspector.



FILTER FABRIC FENCE DETAIL
NOT TO SCALE

FILTER FABRIC FENCE INSTALLATION NOTES:

1. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-INCH OVERLAP, AND BOTH ENDS SECURELY FASTENED TO THE POST.
2. THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS (WHERE FEASIBLE). THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 30 INCHES).
3. A TRENCH SHALL BE EXCAVATED, ROUGHLY 8 INCHES WIDE AND 12 INCHES DEEP, UPSLOPE AND ADJACENT TO THE WOOD POST TO ALLOW THE FILTER FABRIC TO BE BURIED.
4. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 4 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND.
5. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 20 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
6. WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF STANDARD NOTES 5 APPLYING.
7. THE TRENCH SHALL BE BACKFILLED WITH 3/4-INCH MINIMUM DIAMETER WASHED GRAVEL.
8. FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
9. FILTER FABRIC FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.



ENGINEER NOTE:

1. Prior to the construction start, the project contractor must hold and attend PRE MEETING with the city of Mercer Island Inspector.
2. Prior to construction start, the project contractor must prepare and submit Traffic Control Plan to the City of Mercer Island.
3. Prior to construction start, the project contractor must verify location of all existing above ground and underground utilities.

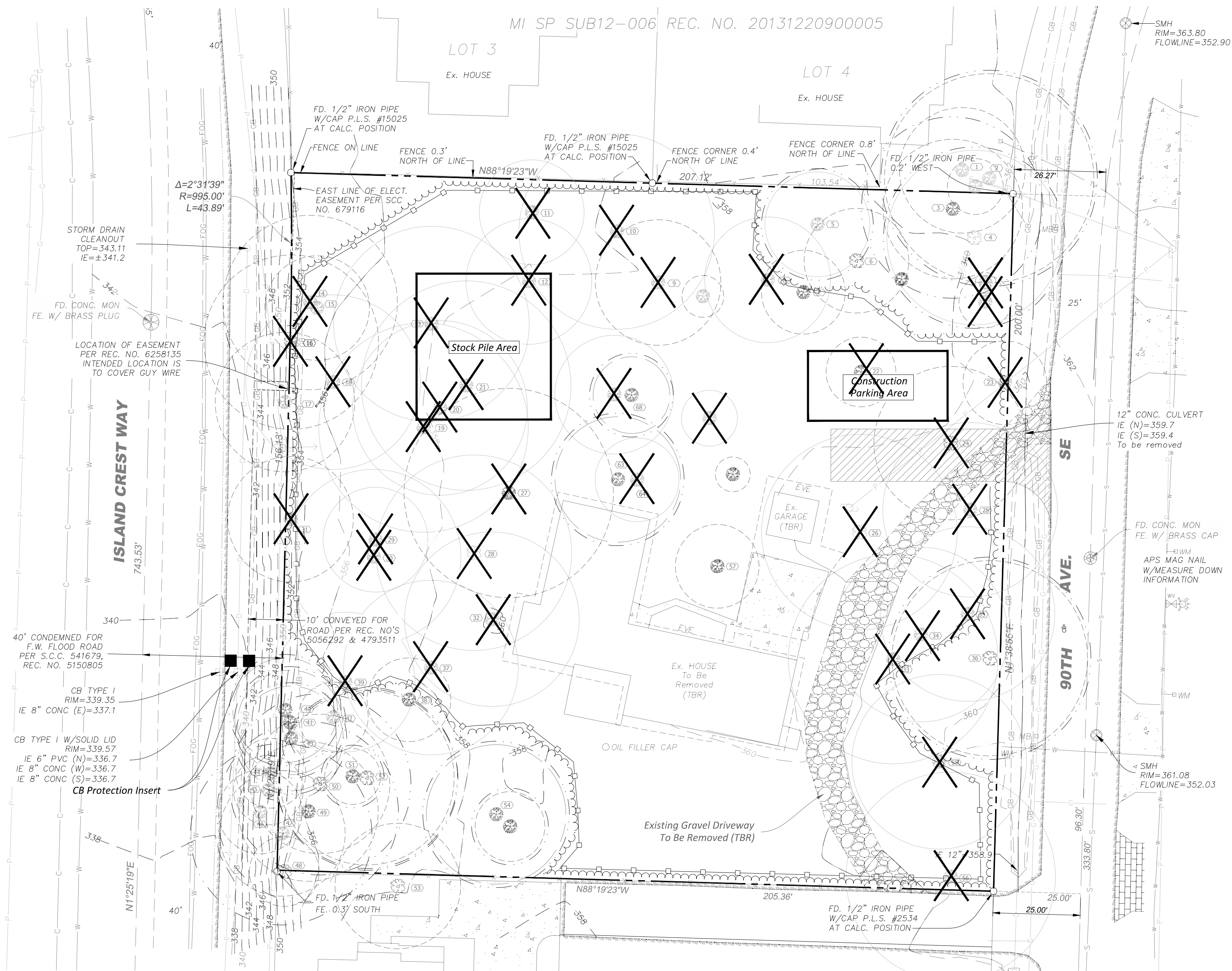
NOTES:

1. MINIMUM SIX (6) FOOT HIGH TEMPORARY CHAINLINK FENCE SHALL BE PLACED AT THE DRIP LINE OF THE SIGNIFICANT TREE(S). FENCE SHALL COMPLETELY ENCIRCLE TREE(S). INSTALL POSTS USING 1.5-INCH STEEL POSTS DRIVEN 2 FEET INTO THE GROUND.
2. MOVABLE BARRIERS OF CHAIN LINK FENCING SECURED TO THE CEMENT BLOCKS MAY BE SUBSTITUTED FOR "FIXED" FENCING IF THE PROJECT ARBORIST AND CITY STAFF AGREE THAT THE FENCING WILL HAVE TO BE MOVED TO ACCOMMODATE CERTAIN PHASES OF THE CONSTRUCTION. MODIFICATIONS TO FENCING MATERIAL AND LOCATION MUST BE APPROVED BY PLANNING OFFICIAL AND PROJECT ARBORIST.
3. THE FENCING CAN BE MOVED WITHIN THE DRIP LINE OF THE TREE IF AUTHORIZED BY THE CLEARING AND GRADING INSPECTOR AND THE PROJECT ARBORIST BUT NOT CLOSER THAN 2' FROM THE TRUNK OF THE TREE. ONLY EXCAVATION BY HAND OR COMPRESSED AIR SHALL BE ALLOWED WITHIN THE DRIP LINE OF THE TREES. MACHINE TRENCHING SHALL BE ALLOWED.
4. TREATMENT OF ROOTS EXPOSED DURING CONSTRUCTION: FOR ROOTS OVER TWO (2) INCH IN DIAMETER DAMAGED DURING CONSTRUCTION, MAKE A CLEAN STRAIGHT CUT TO REMOVE DAMAGED PORTION OF THE ROOT. ALL EXPOSED ROOTS SHALL BE TEMPORARY COVERED WITH DAMP BURLAP TO PREVENT DRYING AND COVERED WITH SOIL AS SOON AS POSSIBLE.
5. NO STOCKING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING. WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY UNDER THE SUPERVISION OF THE ON-SITE ARBORIST AND WITH PRIOR APPROVAL BY THE CITY PLANNING OFFICIAL.
6. FENCING SIGNAGE AS DETAILED ABOVE MUST BE POSTED EVERY FIFTEEN ALONG THE FENCE. THE SIGN SHALL BE MINIMUM OF 8.5-INCHES BY 11-INCHES.

NOTE:

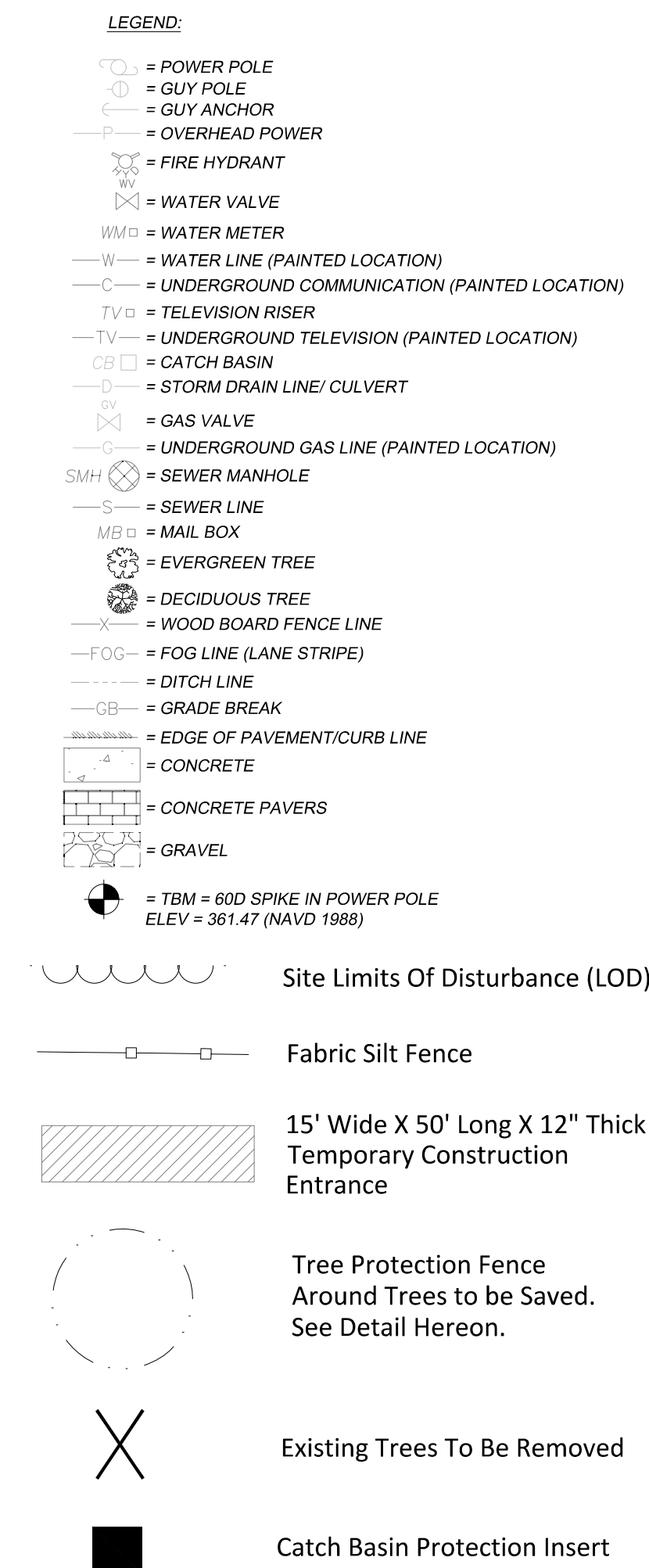
The following special inspections shall be conducted by the project Geotechnical Engineer if required by the City of Mercer Island:

1. Monitoring of Erosion Control Measures.
2. Observation and monitoring of excavation.
3. Subsurface drainage installation.
4. Soil bearing verification.
5. Structural fill verification and compaction.



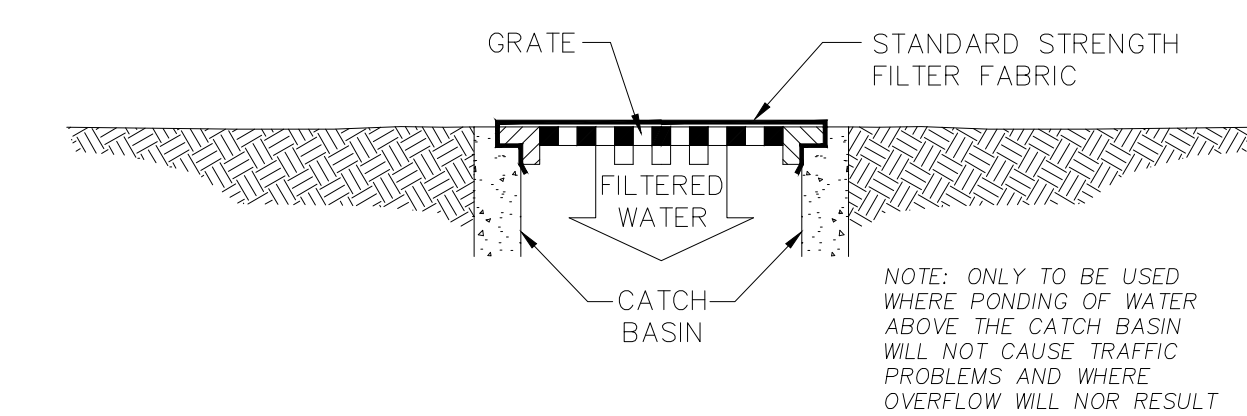
TREES REMOVAL:

REFER TO ARBORIST PLAN SHEET TR - 1 FOR THE IDENTIFICATION AND TAG NUMBER OF EACH TREE TO BE REMOVED.

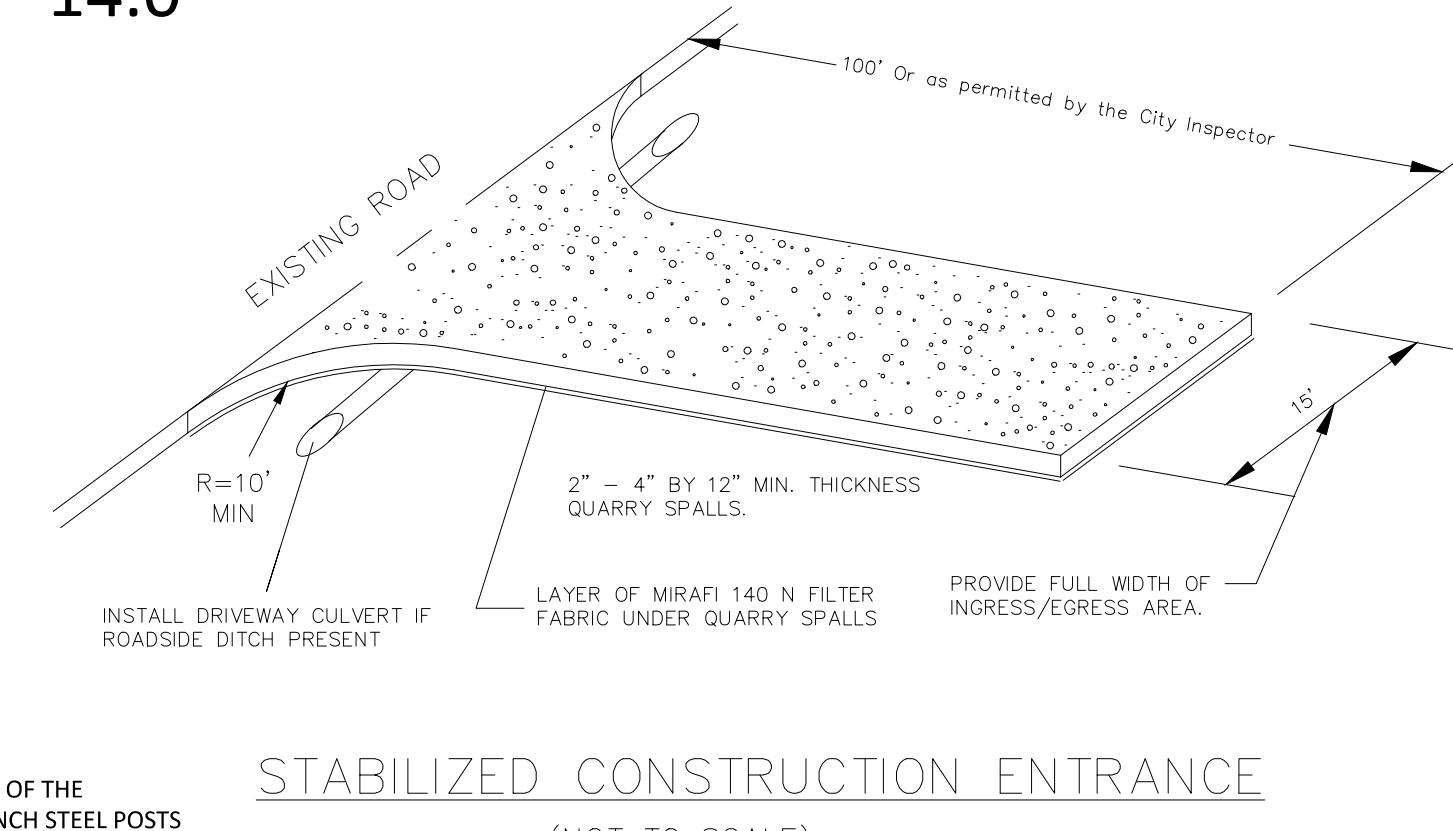


CATCH BASIN INSERT MAINTENANCE STANDARDS

1. ANY ACCUMULATED SEDIMENT ON OR AROUND THE FILTER FABRIC PROTECTION SHALL BE REMOVED IMMEDIATELY. SEDIMENT SHALL NOT BE REMOVED WITH WATER, AND ALL SEDIMENT MUST BE DISPOSED OF AS FILL ON SITE OR HAULLED OFF SITE.
2. ANY SEDIMENT IN THE CATCH BASIN INSERT SHALL BE REMOVED WHEN THE SEDIMENT HAS FILLED ONE-THIRD OF THE AVAILABLE STORAGE. THE FILTER MEDIA FOR THE INSERT SHALL BE CLEANED OR REPLACED AT LEAST MONTHLY.
3. REGULAR MAINTENANCE IS CRITICAL FOR BOTH FORMS OF CATCH BASIN PROTECTION. UNLIKE MANY FORMS OF PROTECTION THAT FAIL GRADUALLY, CATCH BASIN PROTECTION WILL FAIL SUDDENLY AND COMPLETELY IF NOT MAINTAINED PROPERLY.



CATCH BASIN INLET FILTER



STABILIZED CONSTRUCTION ENTRANCE

Revisions	No.	Date	By

SUB22 - 009, Site Development Permit # 2409 - 065
 Temporary Erosion and Sedimentation Control (TESC) Plan

Plan Plotted For:
 Second Submittal

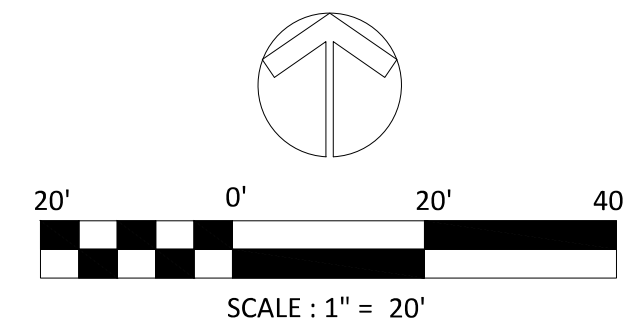
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Professional Engineer Seal for **Michael S. Hahn**, License No. 36034, State of Washington.

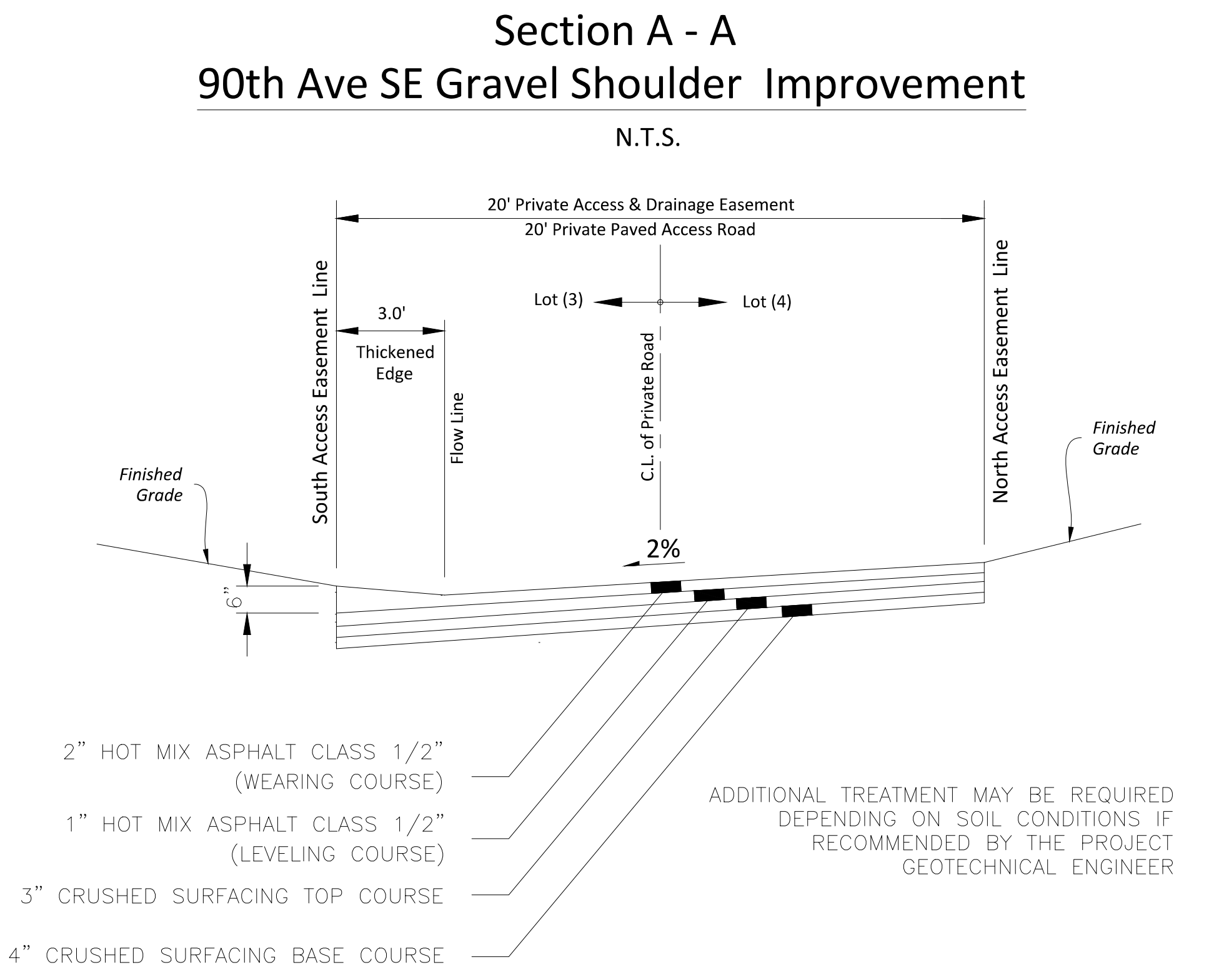
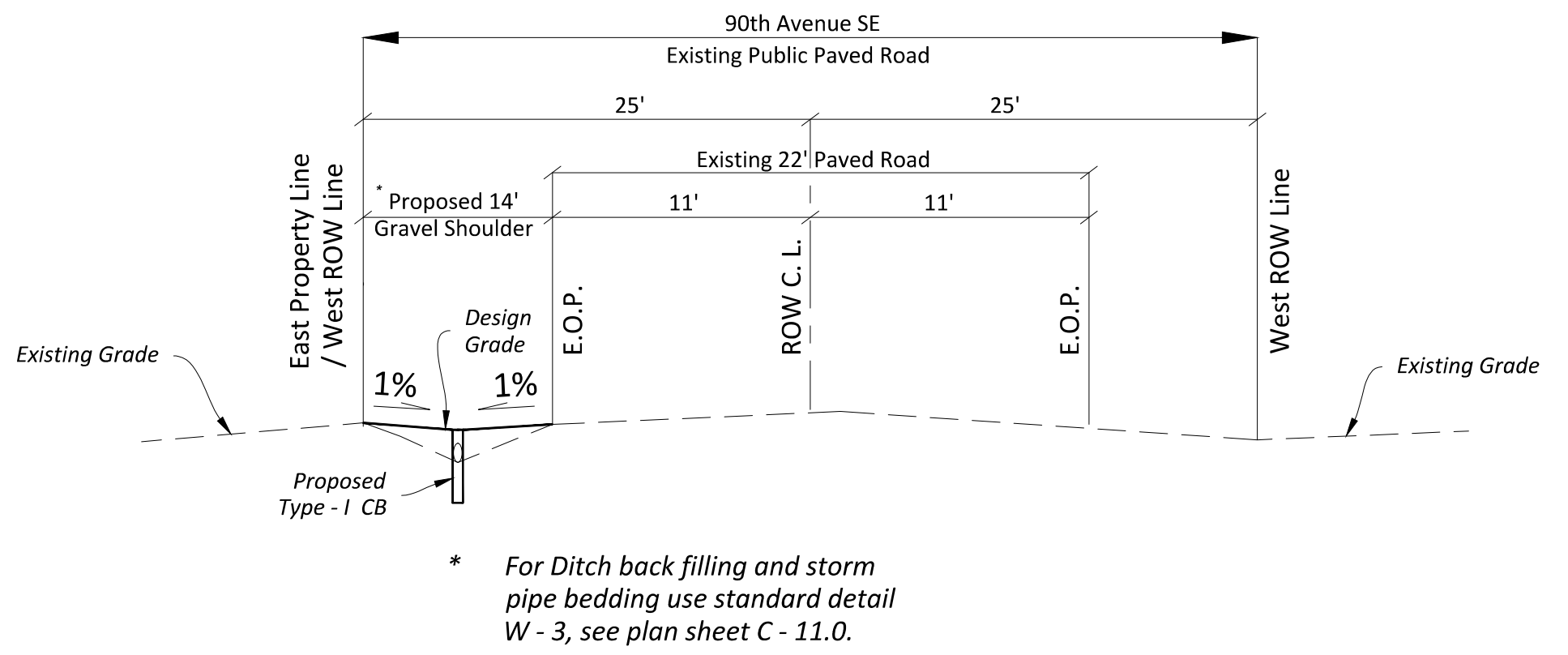
Date: 03/12/2025	Job Number: 240215 - PLE - 2401
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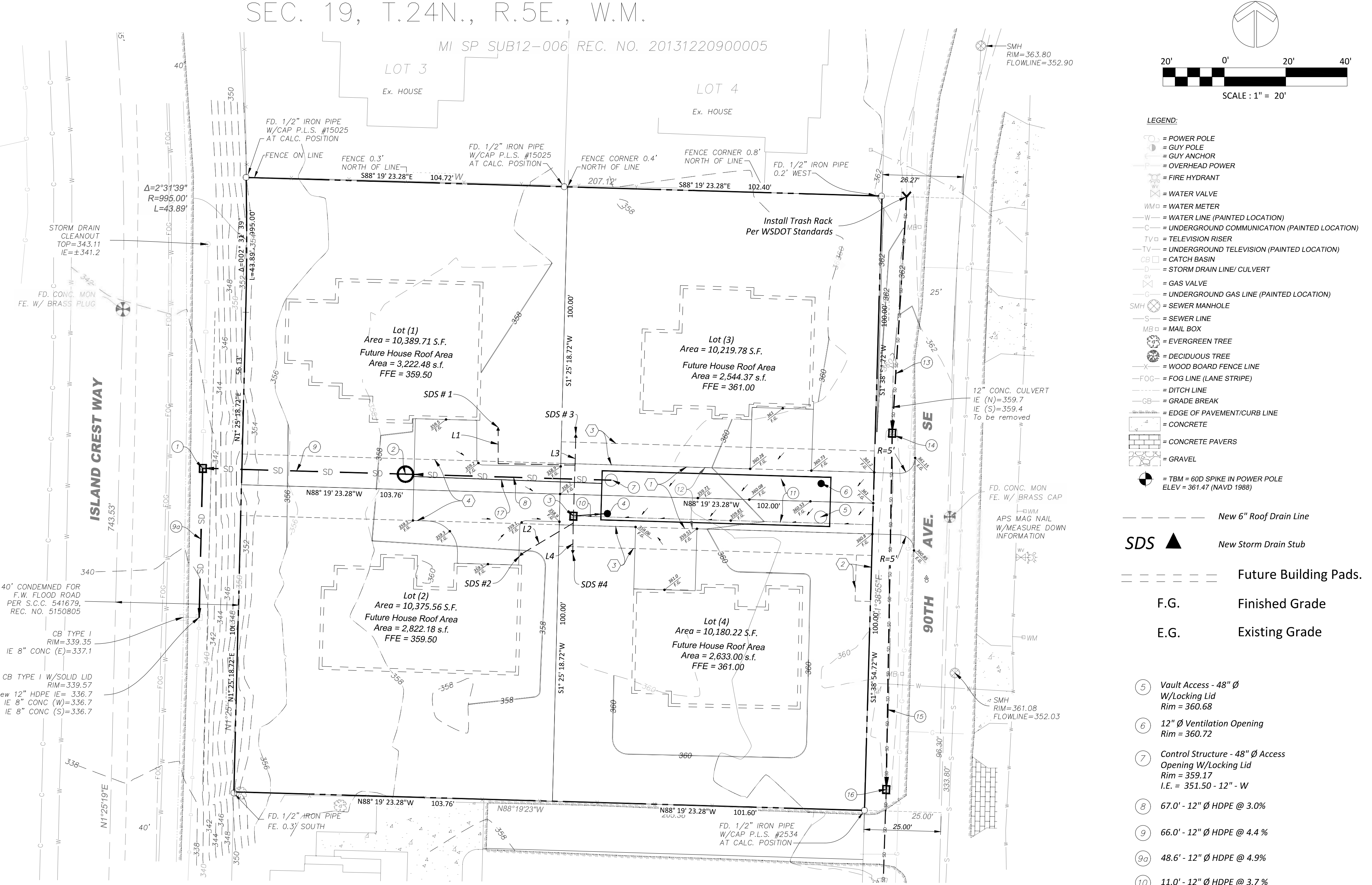
MI SP SUB12-006 REC. NO. 20131220900005



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 - ⊙ = GUY ANCHOR
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 - = UNDERGROUND COMMUNICATION (PAINTED LOCATION)
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 - CB = CATCH BASIN
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 - ⊕ = GAS VALVE
 - = UNDERGROUND GAS LINE (PAINTED LOCATION)
 - SMH = SEWER MANHOLE
 - = SEWER LINE
 - MB = MAIL BOX
 - ⊕ = EVERGREEN TREE
 - ⊕ = DECIDUOUS TREE
 - ⊕ = WOOD BOARD FENCE LINE
 - = FOG LINE (LANE STRIPE)
 - = DITCH LINE
 - = GRADE BREAK
 - = EDGE OF PAVEMENT/CURB LINE
 - = CONCRETE
 - = CONCRETE PAVERS
 - = GRAVEL
 - ⊕ = TBM = 60D SPIKE IN POWER POLE
ELEV = 361.47 (NAVD 1988)



- NOTE TO CONTRACTOR:**
- Prior to contractor start must field verify horizontal and vertical locations of all existing above and underground utilities and its associated top and invert elevations.
 - Contractor must notify engineer and city of Mercer Island inspector when utility conflicts are discovered
 - Contractor shall provide and obtain approval of Traffic Control Plans from city of Mercer Island.
 - Prior to start of construction contractor must field verify locations of all underground utilities by utilizing pothole techniques and/or by hand digging while using extreme caution.
 - Contractor shall assume full 100% liability for any damages caused to any underground and/or above ground utilities and must immediately restore all damaged utilities per applicable standards at his/her or own cost.
 - Contractor shall assume full 100% liability for any damages caused to any to city ROW, and private properties and must immediately restore all damaged per applicable city of Mercer Island standards / code requirements at his/her or own cost.
 - In the event of utilities crossing conflicts contractor must immediately inform City of Newcastle Inspector, City of Mercer Island Engineer, the project owner, and the project engineer prior to continuing with construction activities.
 - Contractor shall restore / adjust all disturbed utility connections to final finished grades per applicable utility standards.
 - Locations of new / proposed dry utilities shown hereon are for information only. The project contractor must coordinate and obtain approval for new proposed above and under ground dry utilities such as power and telephone / communication utilities, with each respective utility company prior to construction start.
 - Contractor must coordinate and obtain approval for any relocation or re-connection of any existing above and under ground utilities with each respective utility company prior to construction start.
 - Horizontal separation between new side sewer lines and new water service must be per city of Mercer Island Standards, and cannot be less than 12" O.C. or as approved by city officials.
 - Vertical separation between new side sewer lines and new water service must be per city of Mercer Island Standards, and cannot be less than 12" O.C. or as approved by city officials.



Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Volume Surface	1.0000	1.0000	34554.78 Sq. Ft.	489.46 Cu. Yd.	118.69 Cu. Yd.	370.77 Cu. Yd.<Cut>
Totals			34554.78 Sq. Ft.	489.46 Cu. Yd.	118.69 Cu. Yd.	370.77 Cu. Yd.<Cut>

Storm Drains Connection

Storm Drain Stub (SDS)			Storm Drain Line				
Number	Rim Elev.	Invert Elev.	Number	Pipe Length	Pipe Size	Pipe Type	Pipe Slope
SDS # 1	359.00	356.70	L1	52.40'	6"	PVC	2%
SDS # 2	358.00	356.00	L2	21.75'	6"	PVC	2%
SDS # 3	360.80	356.10	L3	9.00'	6"	PVC	2%
SDS # 4	360.00	355.85	L4	9.00'	6"	PVC	2%

- ENGINEER NOTE:**
- Prior to the construction start, the project contractor must hold and attend PRE MEETING with the city of Mercer Island Inspector.
 - Prior to construction start, the project contractor must prepare and submit Traffic Control Plan to the City of Mercer Island.
 - Prior to construction start, the project contractor must verify location of all existing above ground and underground utilities.
 - THE CONSTRUCTION OF THE STORM WATER CONCRETE VAULT SHALL BE AT RECOMMENDATION OF THE PROJECT GEOTECHNICAL ENGINEER.

- Proposed 20' X 102' Private Access and Drainage Easement.
- Proposed 5' X 15' Access and Sewer Easement.
- Proposed 7' X 102' private ingress / egress and utilities easement.
- Proposed 20' X 103.76' Private Drainage and Access Easement.
- CB # 1, Type-I Rim = 340.98 I.E. = 339.08 - 12" Ø HDPE - E I.E. = 339.08 - 6" Ø PVC N & S
- SDMH # 1, Type-II - 54" Ø W/Locking Lid Rim = 359.31 I.E. = 349.50 - 12" Ø HDPE - E I.E. = 342.00 - 12" Ø HDPE - W
- CB # 2, Type-I Rim = 358.62 I.E. = 355.62 - 12" Ø HDPE - E I.E. = 355.62 - 6" Ø PVC N & S
- 12" Ø Ventilation Opening Rim = 358.93 I.E. = 355.08 - 12" Ø HDPE - W
- Vault Access - 48" Ø W/Locking Lid Rim = 360.68
- 12" Ø Ventilation Opening Rim = 360.72
- Control Structure - 48" Ø Access Opening W/Locking Lid Rim = 359.17 I.E. = 351.50 - 12" - W
- 67.0' - 12" Ø HDPE @ 3.0%
- 66.0' - 12" Ø HDPE @ 4.4%
- 48.6' - 12" Ø HDPE @ 4.9%
- 11.0' - 12" Ø HDPE @ 3.7%
- Underground Storm Water Detention Vault 72.5' Long X 14' Wide X 8' Deep, See Detail C - 8.0
- 20' Wide Paved Private Access Road See Detail Hereon.
- 77.0' - 12" Ø D.I. @ 2.62%
- CB # 3, Type-I Rim = 361.50 I.E. = 359.18 - 12" D.I. N & S
- 116.26' - 12" Ø D.I. @ 0.25%
- CB # 4, Type-I Rim = 360.40 I.E. = 358.90 - 12" D.I. N 12" Exst. Culvert S
- Vault Foundation Drain 64" Solid Rigid PVC @ 2.0% See Sheets C-8.0 and C-9.0 for more information.

Revisions

No.	Date	By

SUB22 - 009, Site Development Permit # 2409 - 065

Site Grading, Drainage, and Utilities Plan

Plan Plotted For: Second Submittal

PACIFIC LAND ENGINEERING

Civil Engineering - Development Services - Land Use Consulting
 Permit Engineering - Surveying - Environmental Witness
 Bellevue, WA - www.pacificlandwa.com (425) 615-6160
 info@pacificlandwa.com

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CITY OF MERCER ISLAND APPROVAL

DATE: _____

CODE OFFICIAL: _____

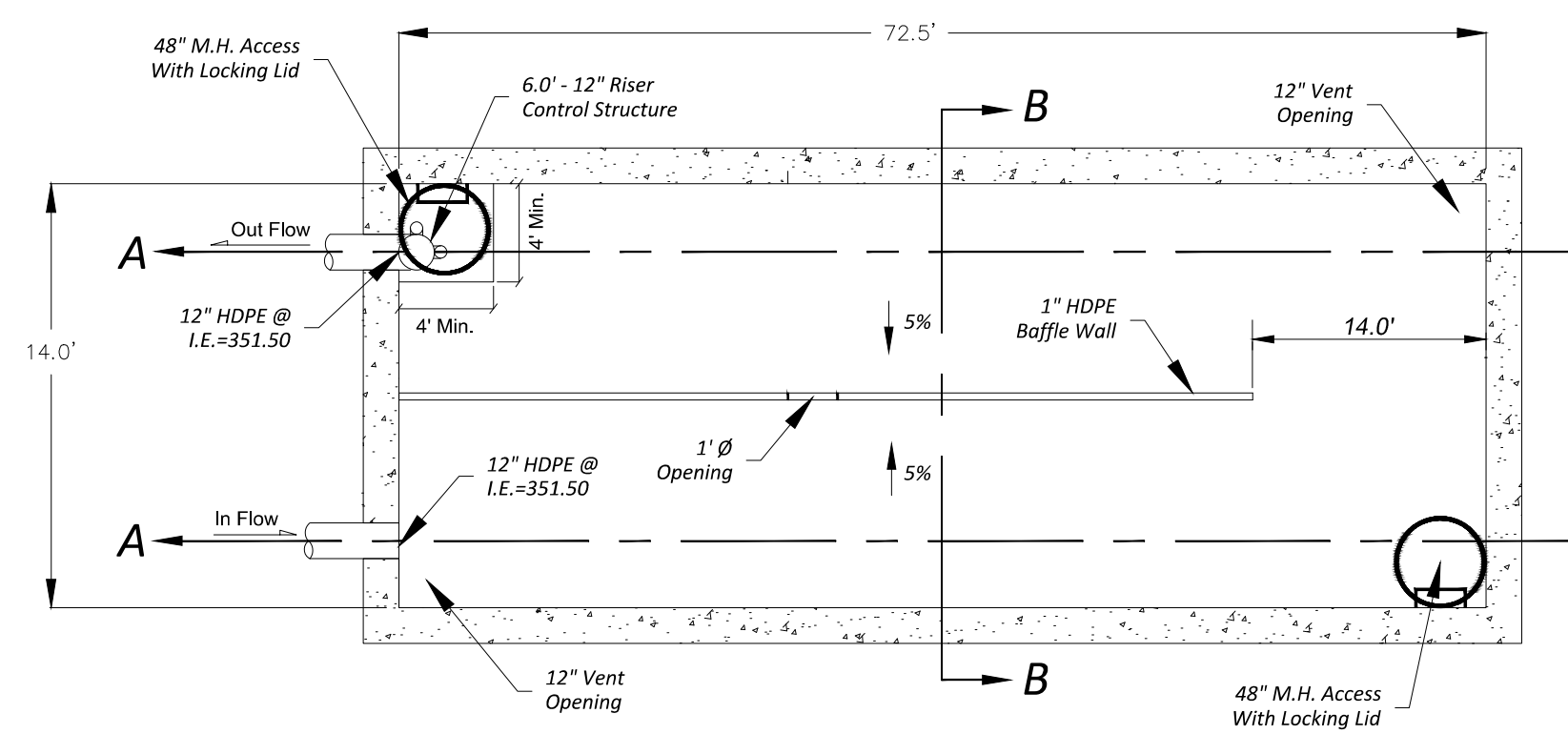
DATE: _____

CITY ENGINEER: _____

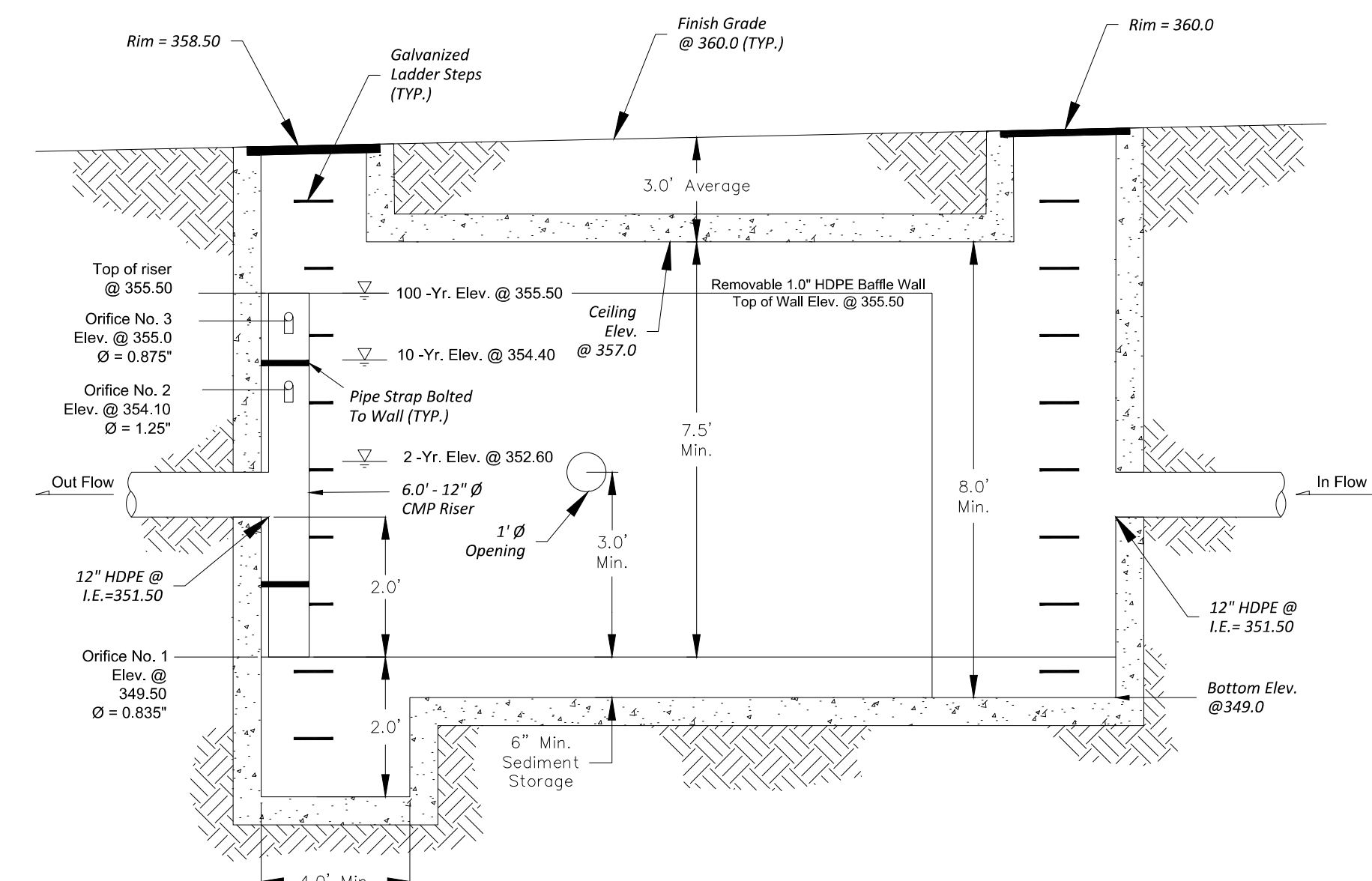
Job Number: 240215 - PLE - 2401

DWG Date: 03 / 12 / 2025

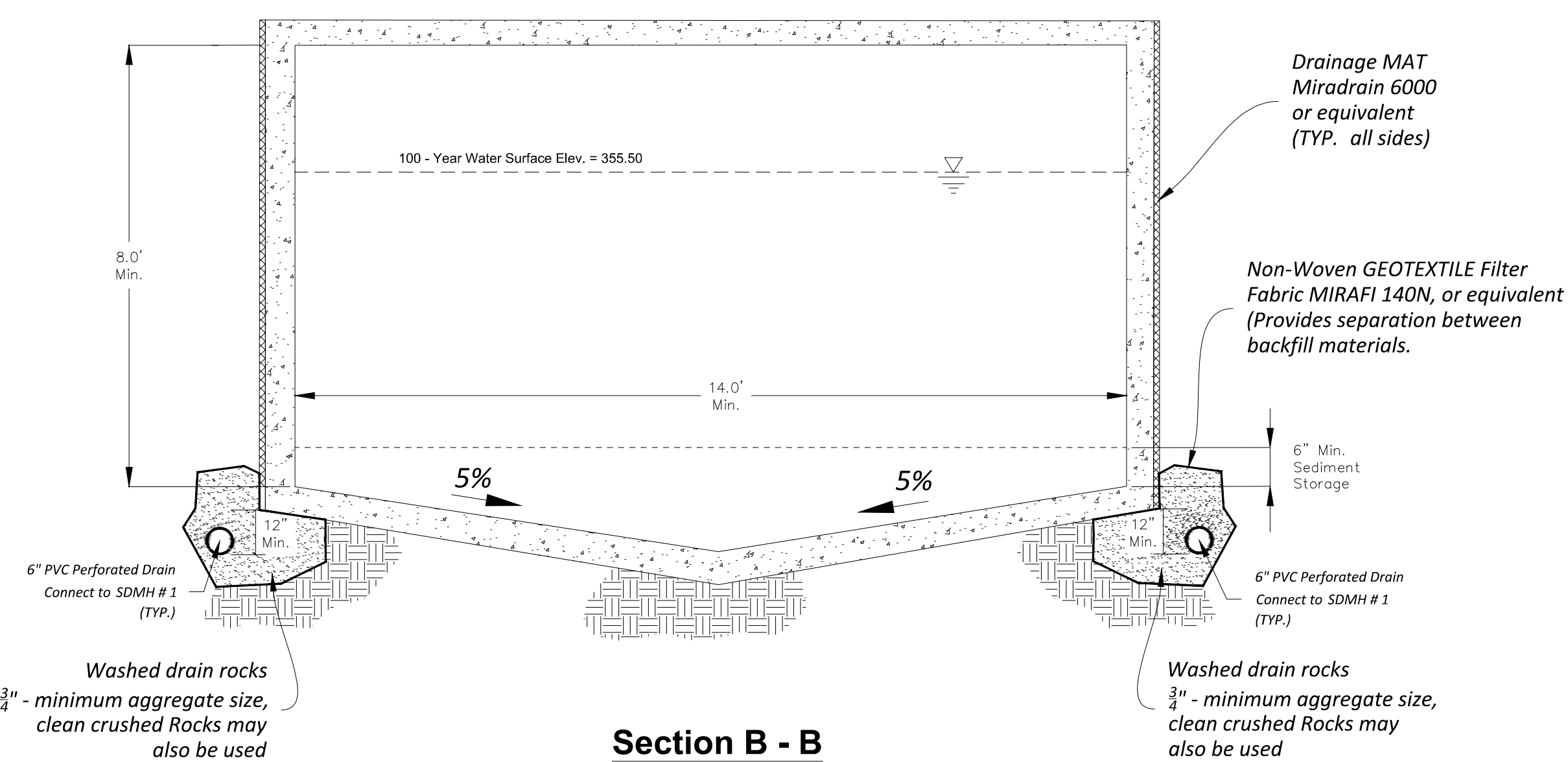
Sheet No. C - 7.0 OF C - 14.0



Plan View

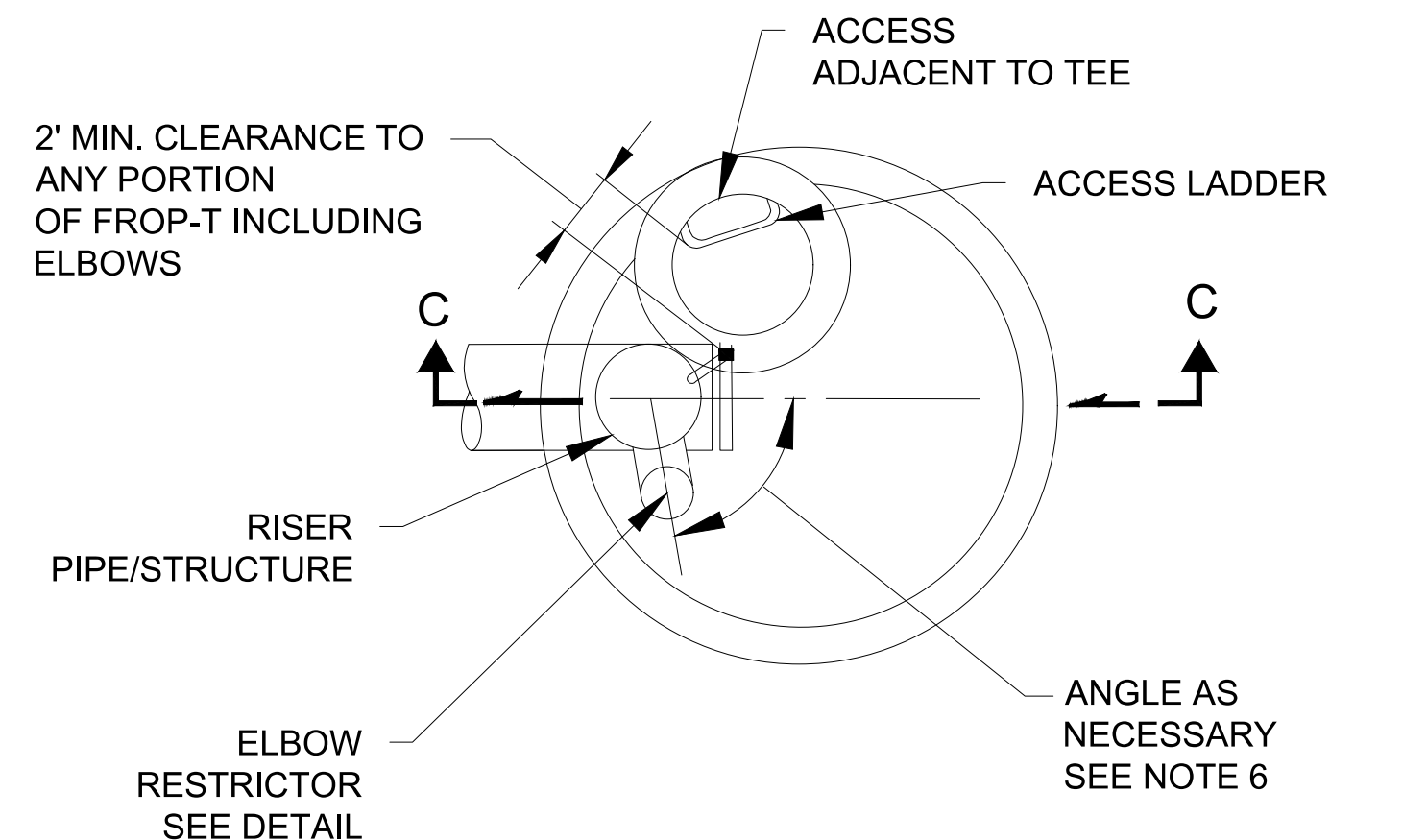


Section A - A

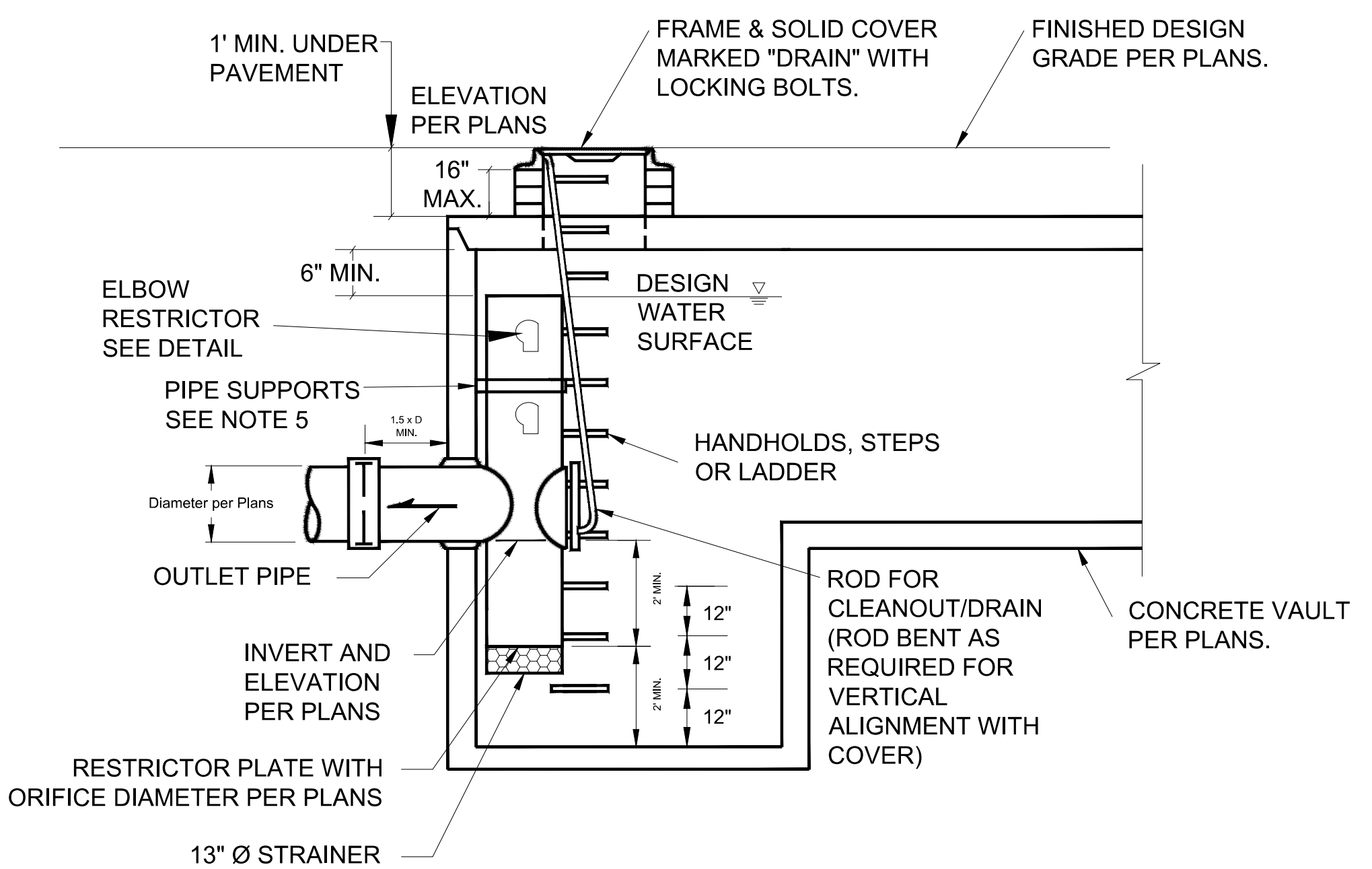


Section B - B

72.5' X 14' X 8.0'
Concrete Detention Vault With Control Structure
 N.T.S.



PLAN VIEW
 N.T.S.

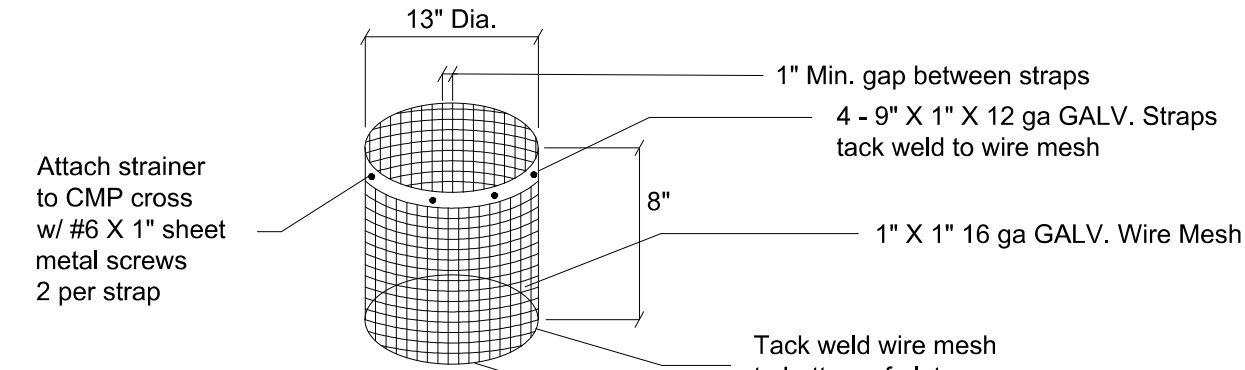


SECTION C - C
 N.T.S.

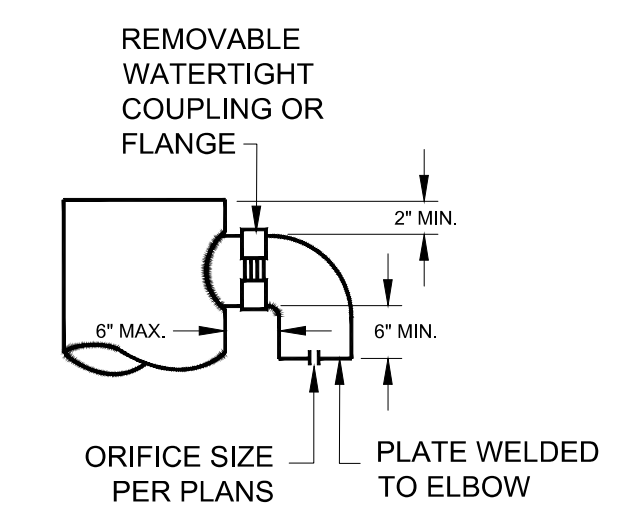
- NOTES:**
- CONTROL STRUCTURE / RISER INSIDE CONCRETE VAULT
 - OUTLET CAPACITY: 100-YEAR DEVELOPED PEAK FLOW.
 - METAL PARTS: CORROSION RESISTANT, STAINLESS STEEL OR ALUMINIZED STEEL.
 - FRAME AND LADDER OR STEPS OFFSET SO:
 - CLEANOUT GATE IS VISIBLE FROM TOP.
 - CLIMB-DOWN SPACE IS CLEAR OF RISER AND CLEANOUT GATE.
 - FRAME IS CLEAR OF CURB.
 - PROVIDE AT LEAST ONE 3" X .090 GAGE SUPPORT BRACKET ANCHORED TO CONCRETE WALL. (MAXIMUM 3'-0" VERTICAL SPACING)
 - LOCATE ELBOW RESTRICTOR(S) AS NECESSARY TO PROVIDE MINIMUM CLEARANCE AS SHOWN.
 - TEE SHALL BE CONSTRUCTED OF ALUMINUM CMP OR ALUMINIZED STEEL CMP MEETING WSDOT / APWA STANDARDS.

ENGINEER NOTE:

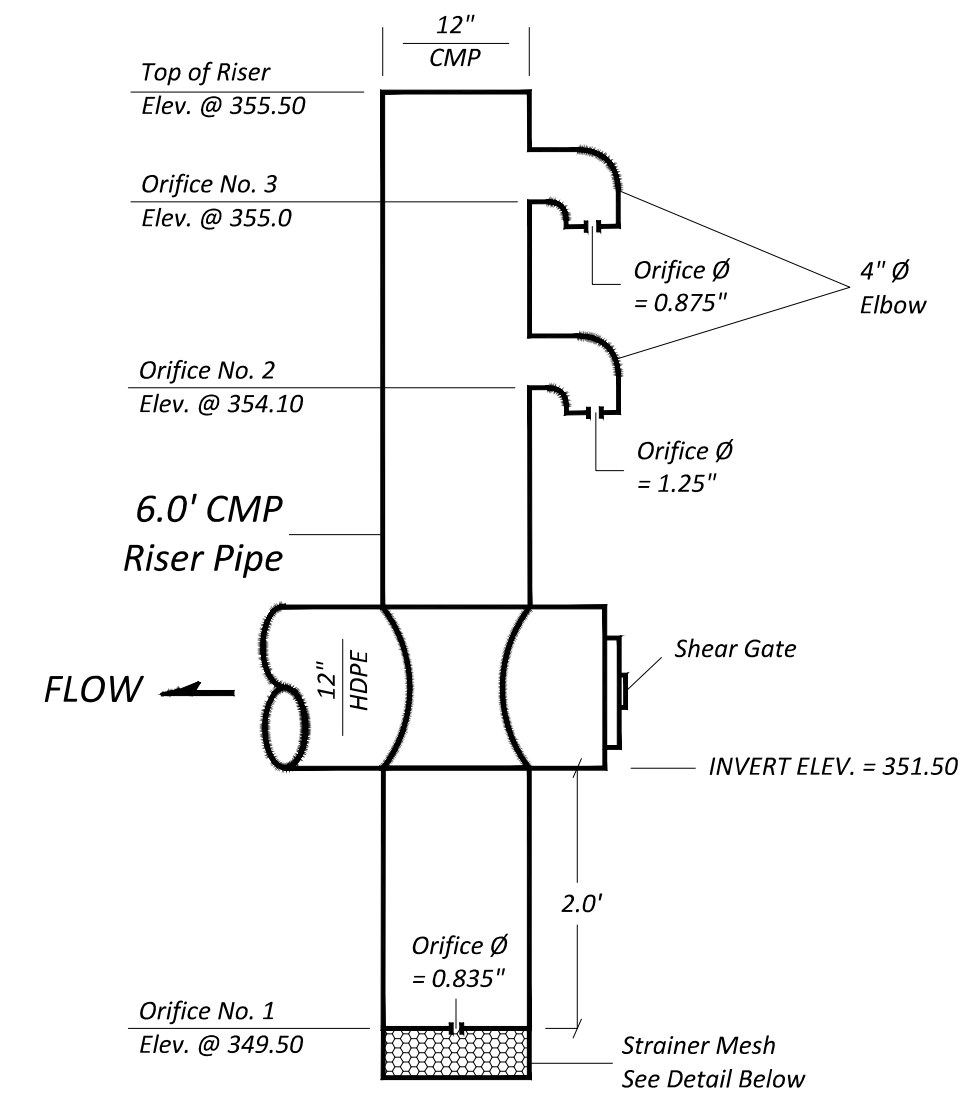
- THE CONSTRUCTION OF THE STORM WATER CONCRETE VAULT SHALL BE AT RECOMMENDATION OF THE PROJECT GEOTECHNICAL ENGINEER.



Strainer Detail
 N.T.S.



ELBOW RESTRICTOR DETAIL
 N.T.S.



RISER DETAIL
 N.T.S.

Revisions	No.	Date	By

SUB22 - 009, Site Development Permit # 2409 - 065

Plan Plotted For:
 Second Submittal

PACIFIC LAND ENGINEERING
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 info@pacificlandwa.com

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 800-424-5555



CITY OF MERCER ISLAND APPROVAL

DATE: _____

CODE OFFICIAL: _____

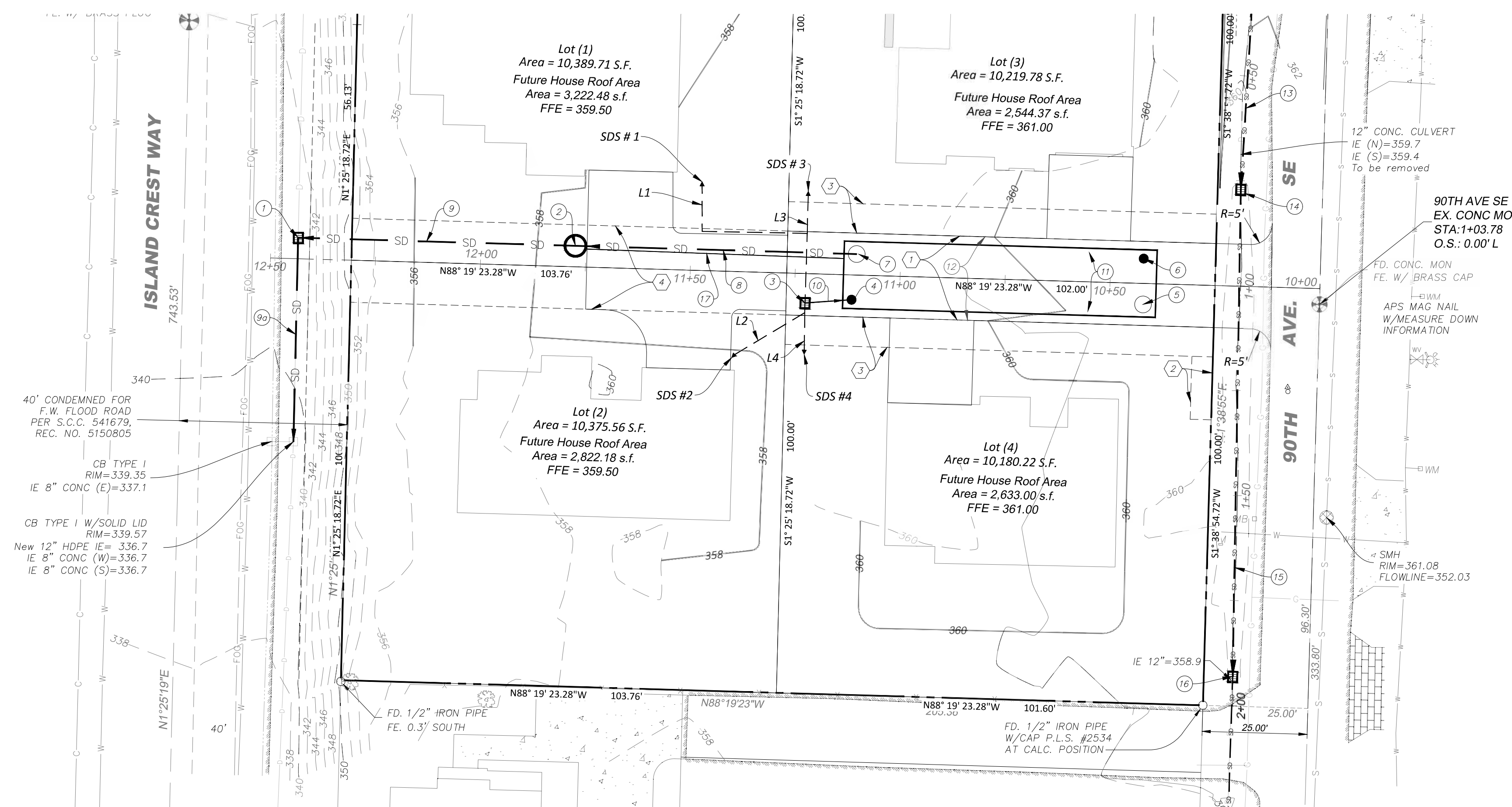
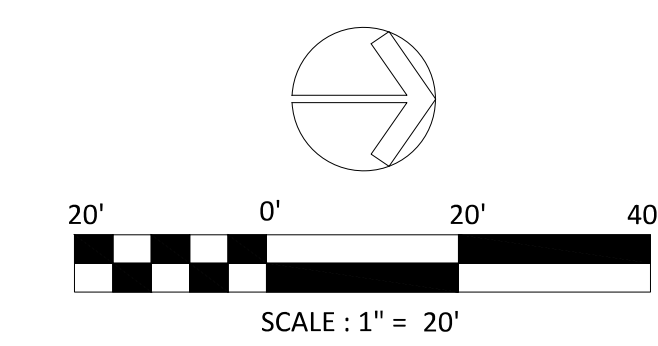
DATE: _____

CITY ENGINEER: _____

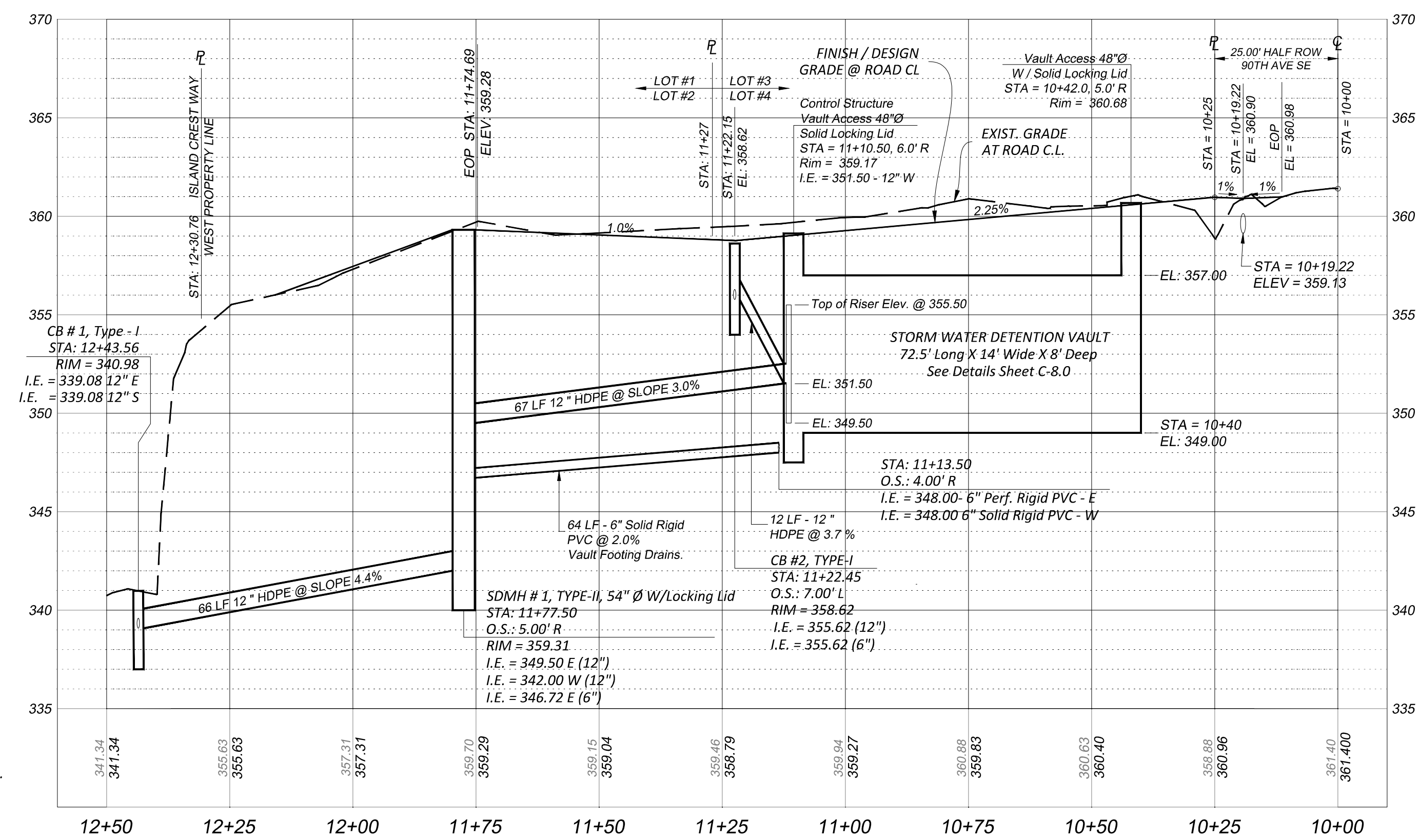
Job Number:
 240215 - PLE - 2401

DWG Date:
 03 / 12 / 2025

Sheet No.
C - 8.0
 OF
C - 14.0



PRIVATE ACCESS ROAD PLAN VIEW



PRIVATE ACCESS ROAD PROFILE VIEW
SCALE: 1"=20' HORIZ, 1"=5' VERT

- 1 CB # 1, Type-I
Rim = 340.98
I.E. = 339.08 - 12" Ø HDPE - E
I.E. = 339.08 - 6" Ø PVC N & S
- 2 SDMH # 1, Type-II - 54" Ø W/Locking Lid
Rim = 359.31
I.E. = 349.50 - 12" Ø HDPE - E
I.E. = 342.00 - 12" Ø HDPE - W
- 3 CB # 2, Type-I
Rim = 358.62
I.E. = 355.62 - 12" Ø HDPE - E
I.E. = 355.62 - 6" Ø PVC N & S
- 4 12" Ø Ventilation Opening
Rim = 358.93
I.E. = 355.08 - 12" Ø HDPE - W
- 5 Vault Access - 48" Ø
W/Locking Lid
Rim = 360.68
- 6 12" Ø Ventilation Opening
Rim = 360.72
- 7 Control Structure - 48" Ø Access
Opening W/Locking Lid
Rim = 359.17
I.E. = 351.50 - 12" - W
- 8 67.0' - 12" Ø HDPE @ 3.0%
- 9 66.0' - 12" Ø HDPE @ 4.4 %
- 9a 48.6' - 12" Ø HDPE @ 4.9%
- 10 11.0' - 12" Ø HDPE @ 3.7 %
- 11 Underground Storm Water Detention Vault
72.5' Long X 14' Wide X 8' Deep, See Detail Sheet C-8.0
- 12 20' Wide Paved Private Access Road
See Detail Sheet C-7.0
- 13 77.0' - 12" Ø D.I. @ 2.62%
- 14 CB # 3, Type-I
Rim = 361.50
I.E. = 359.18 - 12" D.I. N & S
- 15 116.26' - 12" Ø D.I. @ 0.25%
- 16 CB # 4, Type-I
Rim = 360.40
I.E. = 358.90 - 12" D.I. N
12" Exst. Culvert S
- 17 Vault Foundation Drain
64' Solid Rigid PVC @ 2.0%
See Sheets C-8.0 and C-9.0
for more information.

NOTE:
The following special inspections shall be conducted by the project Geotechnical Engineer if required by the City of Mercer Island:

- Monitoring of Erosion Control Measures.
- Observation and monitoring of excavation.
- Subsurface drainage installation.
- Soil bearing verification.
- Structural fill verification and compaction.

ENGINEER NOTE:

- Prior to the construction start, the project contractor must hold and attend PRE MEETING with the city of Mercer Island Inspector.
- Prior to construction start, the project contractor must prepare and submit Traffic Control Plan to the City of Mercer Island.
- Prior to construction start, the project contractor must verify location of all existing above ground and underground utilities.
- THE CONSTRUCTION OF THE STORM WATER CONCRETE VAULT SHALL BE AT RECOMMENDATION OF THE PROJECT GEOTECHNICAL ENGINEER.

Revisions	No.	Date	By

SUB22 - 009, Site Development Permit # 2409 - 065
Roads and Drainage Profile Design Plan

Plan Plotted For:
Second Submittal

PACIFIC LAND ENGINEERING
Civil Engineering - Development Services - Land Use Consulting
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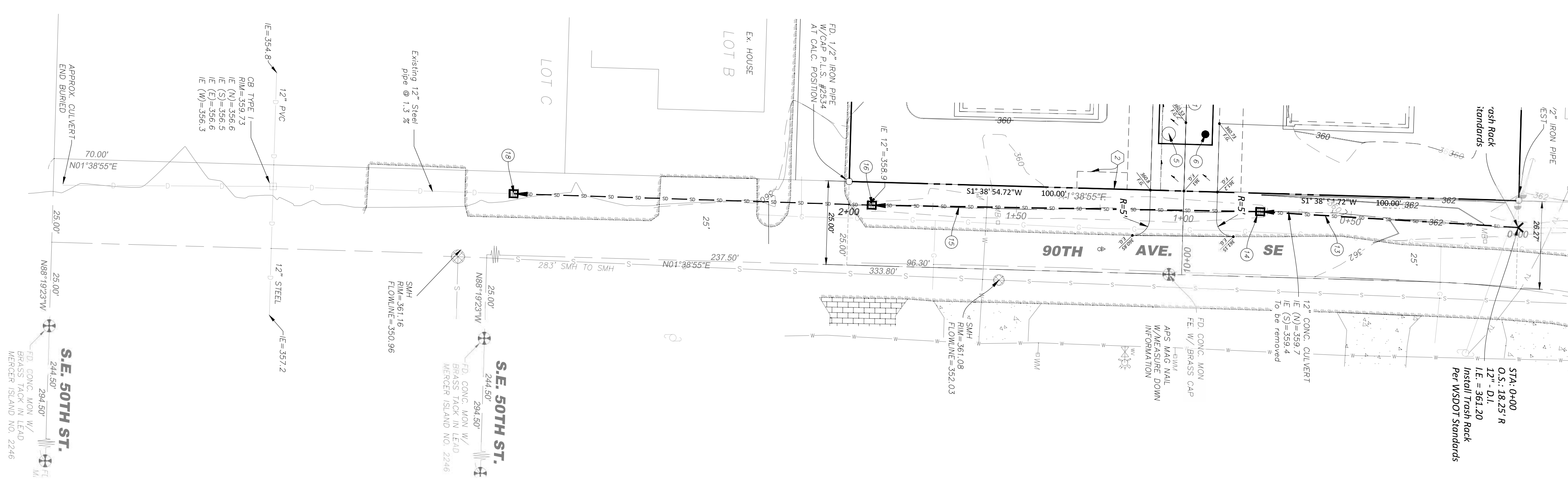
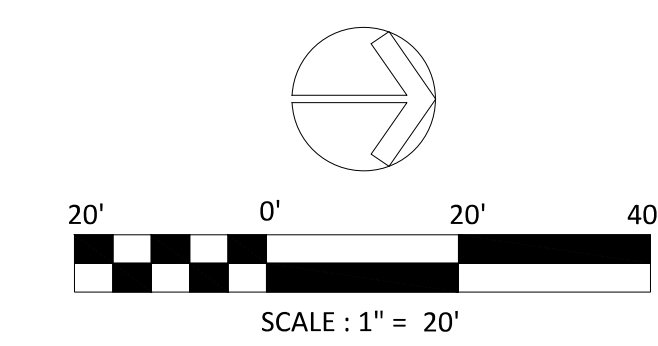
CALL 48 HOURS BEFORE YOU DRIVE
811
Call Before You Dig
800-424-5555

Date: 03/12/2025
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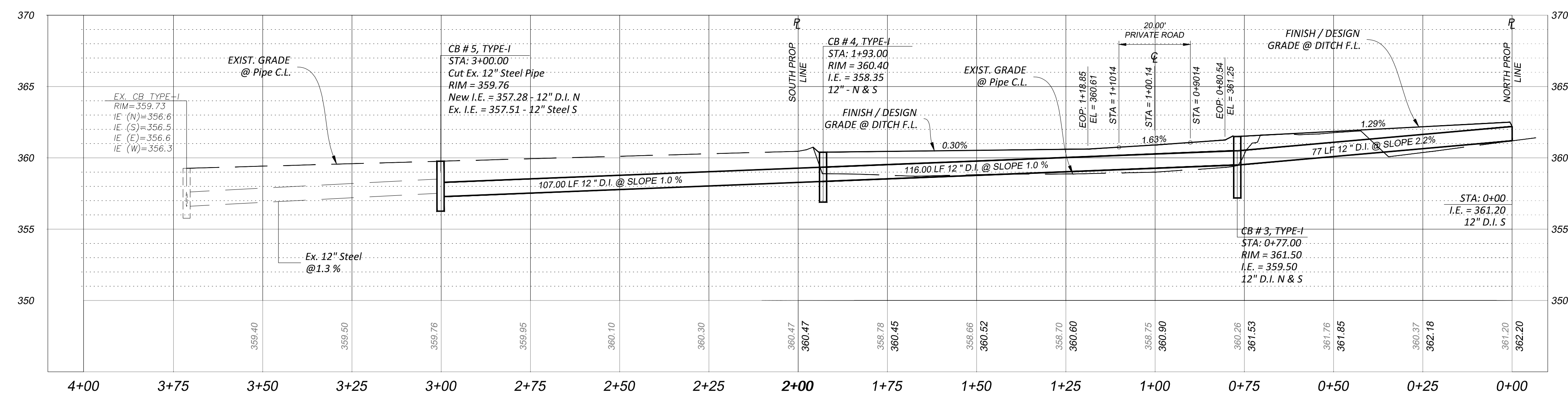
CITY OF MERCER ISLAND APPROVAL

DATE: _____
CODE OFFICIAL: _____
DATE: _____
CITY ENGINEER: _____

Job Number: 240215 - PLE - 2401
DWG Date: 03/12/2025
Sheet No. **C - 9.0**
OF **C - 14.0**



90TH AVE SE PLAN VIEW



90TH AVE PROFILE VIEW

- 1 CB # 1, Type-I
Rim = 340.98
I.E. = 339.08 - 12" Ø HDPE - E
I.E. = 339.08 - 6" Ø PVC N & S
- 2 SDMH, Type-II - 54" Ø SDMH W/Locking Lid
Rim = 359.31
I.E. = 349.50 - 12" Ø HDPE - E
I.E. = 342.00 - 12" Ø HDPE - W
- 3 CB # 2, Type-I
Rim = 358.62
I.E. = 355.62 - 12" Ø HDPE - E
I.E. = 355.62 - 6" Ø PVC N & S
- 4 12" Ø Ventilation Opening
Rim = 358.93
I.E. = 355.08 - 12" Ø HDPE - W
- 5 Vault Access - 48" Ø
W/Locking Lid
Rim = 360.68
- 6 12" Ø Ventilation Opening
Rim = 360.72
- 7 Control Structure - 48" Ø Access
Opening W/Locking Lid
Rim = 359.17
I.E. = 351.50 - 12" - W
- 8 67.0' - 12" Ø HDPE @ 3.0%
- 9 66.0' - 12" Ø HDPE @ 4.4%
- 9a 48.6' - 12" Ø HDPE @ 4.9%
- 10 11.0' - 12" Ø HDPE @ 3.7%
- 11 Underground Storm Water Detention Vault
72.5' Long X 14' Wide X 8' Deep, See Detail Sheet C-8.0
- 12 20' Wide Paved Private Access Road
See Detail Sheet C-7.0
- 13 77.0' - 12" Ø D.I. @ 2.62%
- 14 CB # 3, Type-I
Rim = 361.50
I.E. = 359.18 - 12" D.I. N & S
- 15 116.26' - 12" Ø D.I. @ 0.25%
- 16 CB # 4, Type-I
Rim = 360.40
I.E. = 358.90 - 12" D.I. N
12" Exst. Culvert S
- 18 CB # 5, Type-I
Rim = 359.76
New I.E. = 357.28 - 12" D.I. N
Ex. I.E. = 357.51 - 12" Steel S

NOTE:

The following special inspections shall be conducted by the project Geotechnical Engineer if required by the City of Mercer Island:

- Monitoring of Erosion Control Measures.
- Observation and monitoring of excavation.
- Subsurface drainage installation.
- Soil bearing verification.
- Structural fill verification and compaction.

ENGINEER NOTE:

- Prior to the construction start, the project contractor must hold and attend PRE MEETING with the city of Mercer Island Inspector.
- Prior to construction start, the project contractor must prepare and submit Traffic Control Plan to the City of Mercer Island.
- Prior to construction start, the project contractor must verify location of all existing above ground and underground utilities.
- THE CONSTRUCTION OF THE STORM WATER CONCRETE VAULT SHALL BE AT RECOMMENDATION OF THE PROJECT GEOTECHNICAL ENGINEER.

Revisions	No.	Date	By

SUB22 - 009, Site Development Permit # 2409 - 065

Frontage and Off-Site Storm System Plan

Plan Plotted For:
Second Submittal

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REGISTERED PROFESSIONAL ENGINEER
36034
DATE: 03 / 12 / 2025
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CITY OF MERCER ISLAND APPROVAL

Job Number: 240215 - PLE - 2401

DATE: _____ DWG Date: 03 / 12 / 2025

CODE OFFICIAL: _____ Sheet No. **C - 9.1**

DATE: _____ OF

CITY ENGINEER: _____ **C - 14.0**

NOTE TO CONTRACTOR:

- Contractor shall provide and obtain approval of Traffic Control Plans from city of Mercer Island.
- Prior to start of construction contractor must field verify locations of all underground utilities by utilizing pothole techniques and/or by hand digging while using extreme caution.
- Contractor shall assume full 100% liability for any damages caused to any underground and/or above ground utilities and must immediately restore all damaged utilities per applicable standards at his/her or own cost.
- Contractor shall assume full 100% liability for any damages caused to any to city ROW, and private properties and must immediately restore all damaged per applicable city of Mercer Island standards / code requirements at his/her or own cost.
- In the event of utilities crossing conflicts contractor must immediately inform City of Mercer Island Inspector, City of Mercer Island Engineer, the project owner, and the project engineer prior to continuing with construction activities.
- Contractor shall restore / adjust all disturbed utility connections to final finished grades per applicable utility standards.
- Locations of new / proposed dry utilities shown hereon are for information only. The project contractor must coordinate and obtain approval for new proposed above and under ground dry utilities such as power and telephone / communication utilities, with each respective utility company prior to construction start.
- Contractor must coordinate and obtain approval for any relocation or re-connection of any existing above and under ground utilities with each respective utility company prior to construction start.
- Horizontal separation between new side sewer lines and new water service must be per city of Mercer Island Standards, and cannot be less than 12" O.C. or as approved by city officials.
- Vertical separation between new side sewer lines and new water service must be per city of Mercer Island Standards, and cannot be less than 12" O.C. or as approved by city officials.

- 20' Wide Private Access and Drainage Easement
- 20' Wide Paved Access Road Area = 2,040 sf.
- 20' Wide Paved Access Road Connection
- 7' wide private ingress / egress and utilities easement.
- 20' Wide Private Drainage and Access Easement

NOTE:

The following special inspections shall be conducted by the project Geotechnical Engineer if required by the City of Mercer Island:

- Monitoring of Erosion Control Measures.
- Observation and monitoring of excavation.
- Subsurface drainage installation.
- Soil bearing verification.
- Structural fill verification and compaction.

WATER AND SEWER NOTES:

- Construction of all sewer lines must be consistent with City of Mercer Island Codes 15.06.080 and 15.06.090.
- The TV inspection of the existing side sewer from the connection point to the City sewer main is required. If the result of the TV inspection is not in satisfactory condition, as determined by the City of Mercer Island Inspector, the replacement of the existing side sewer is required.

NOTE:

The following special inspections shall be conducted by the project Geotechnical Engineer if required by the City of Mercer Island:

- Monitoring of Erosion Control Measures.
- Observation and monitoring of excavation.
- Subsurface drainage installation.
- Soil bearing verification.
- Structural fill verification and compaction.

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- Prior to construction start, the project contractor must verify location of all existing above ground and underground utilities.
- THE CONSTRUCTION OF THE STORM WATER CONCRETE VAULT SHALL BE AT RECOMMENDATION OF THE PROJECT GEOTECHNICAL ENGINEER.

Dry Utilities Notes:

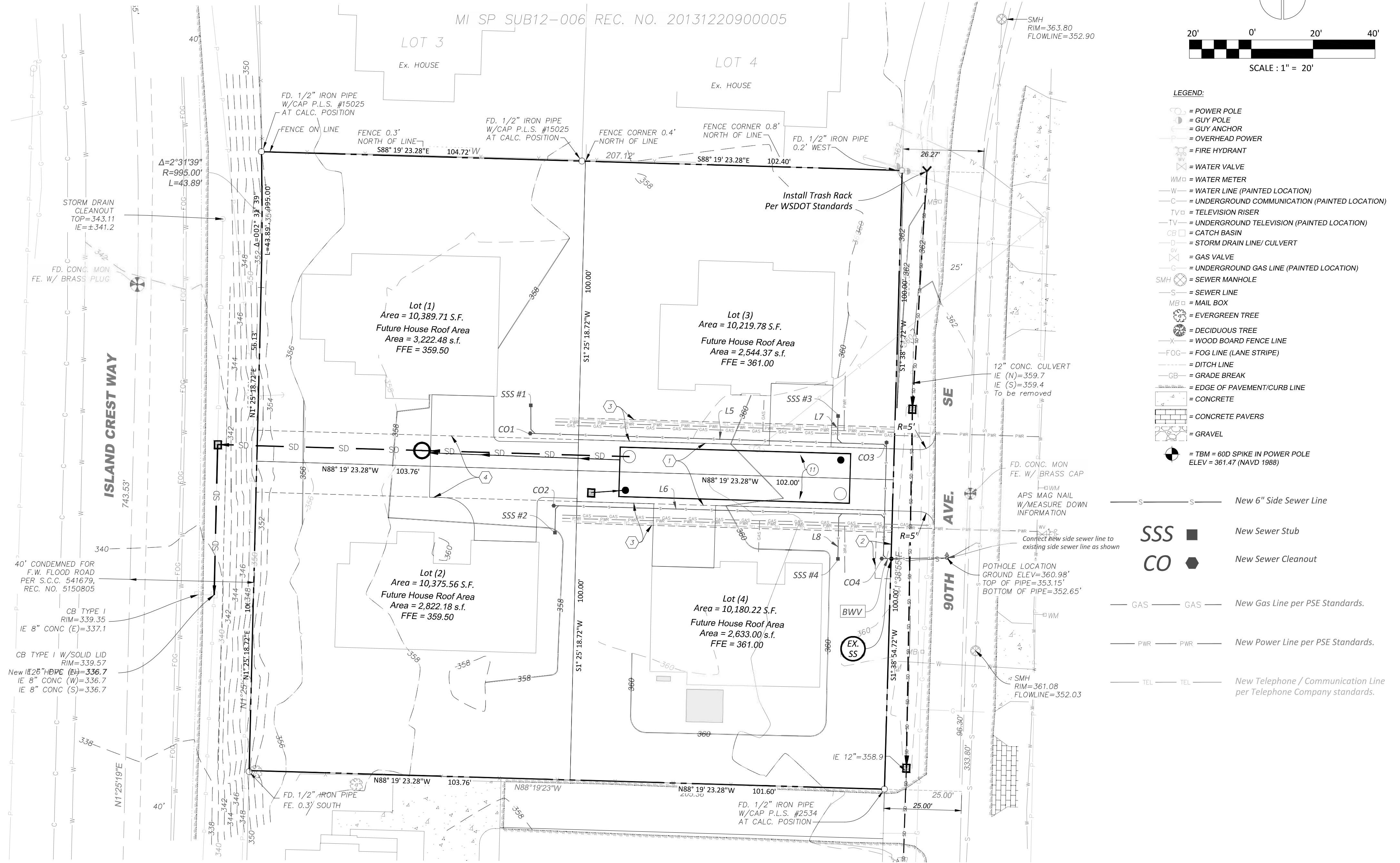
All new / proposed dry utilities shown hereon are for information / reference only. The designs and final location of such utilities will be administered and approved by each respective dry utility company. The project owner(s) / applicant shall obtain and provide copies of dry utility approval to city of Mercer Island prior to construction start or as required by the City of Mercer Island officials.

PLAT NOTE

All building permits are subject to meeting current fire code requirements at the time of permit submittal. Access and fire flow shall be provided as outlined in the International Fire Code Appendix B, C, D and applicable City Code. Fire plan reviews will be conducted at the time of building permit submittal and may require additional fire protection systems and/or additional fire prevention measures for building approval. because this plan is site development plan not building plan. These three items will be included and determined in building permit application.

SEC. 19, T.24N., R.5E., W.M.

MI SP SUB12-006 REC. NO. 20131220900005



Sewer Lines Connection										
Side Sewer Stub (SSS)			Side Sewer Line				Sewer Cleanouts			
Stub Number	Rim Elev.	Invert Elev.	Line Number	Pipe Length	Pipe Size	Pipe Type	Pipe Slope	Cleanout Number	Rim Elev.	Invert Elev.
SSS # 1	359.00	356.23	L5	179.20'	6"	PVC	2%	CO1	358.30	355.00
SSS # 2	358.00	355.20	L6	128.40	6"	PVC	2%	CO2	358.00	354.30
SSS # 3	360.80	354.26	L7	60.65'	6"	PVC	2%	CO3	358.40	352.70
SSS # 4	360.00	353.90	L8	42.76'	6"	PVC	2%	CO4	358.20	353.05

EX SS

By Site Survey, Pothole Location Existing Ground Elevation = 360.16' Top of Existing Side Sewer Pipe Elevation = 352.41' Bottom of Existing Side Sewer Pipe Elevation = 351.91' REMOVE THIS EXISTING PORTION OF THE EXISTING SIDE SEWER AND INSTALL NEW SIDE SEWER CONNECTION FROM CO4 TO EXISTING SEWER CONNECTION AT POTHOLE LOCATION, SEE LINE CONNECTION TABLE HEREON AT LEFT FOR MORE INFORMATION.

BWW

Install Back Water Valve Assembly per City Standard Detail S-26. see plan sheet C-12.0.

Revisions	No.	Date	By

SUB22 - 009, Site Development Permit # 2409 - 065
 Water, Sewer, and Dry Utilities Plan

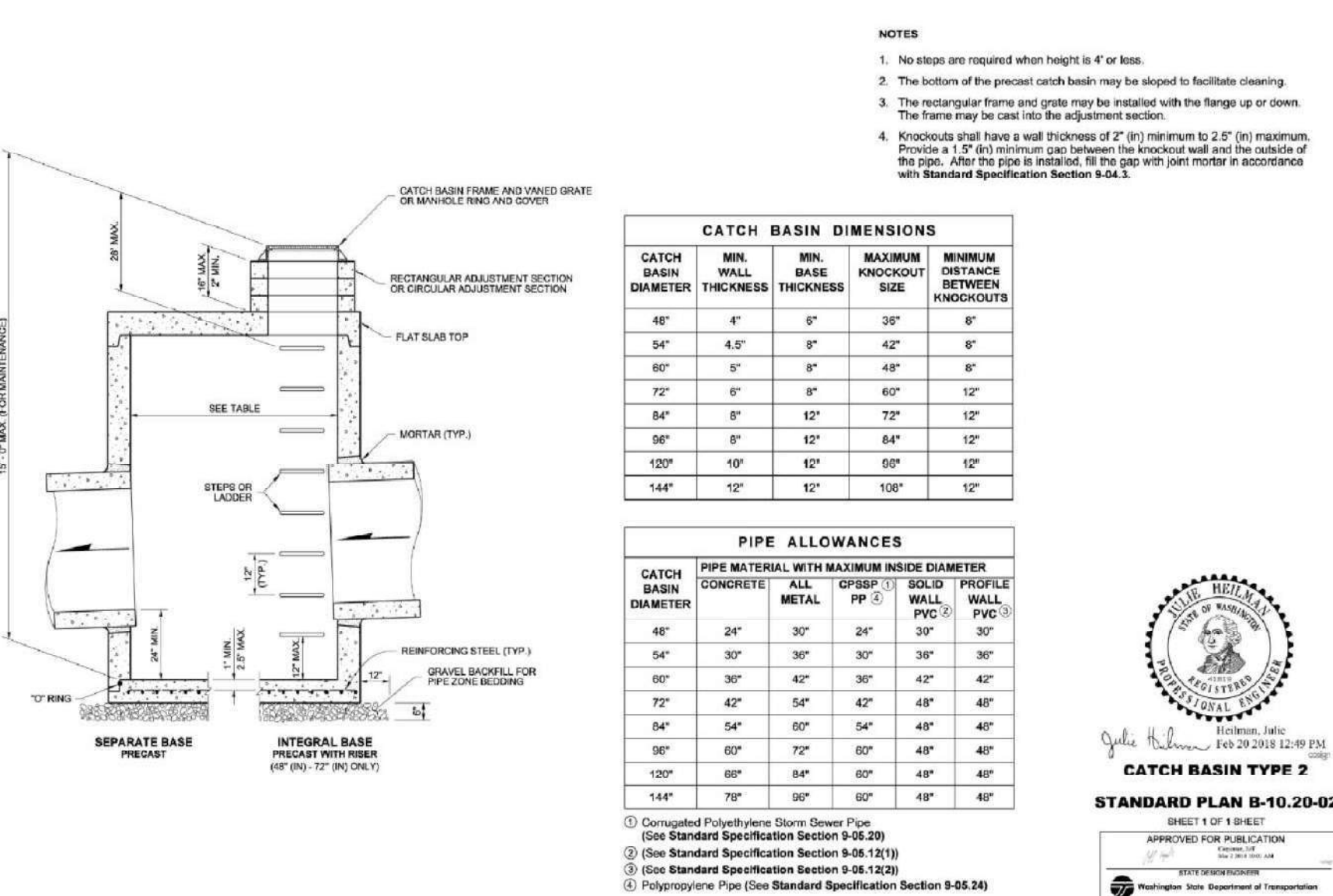
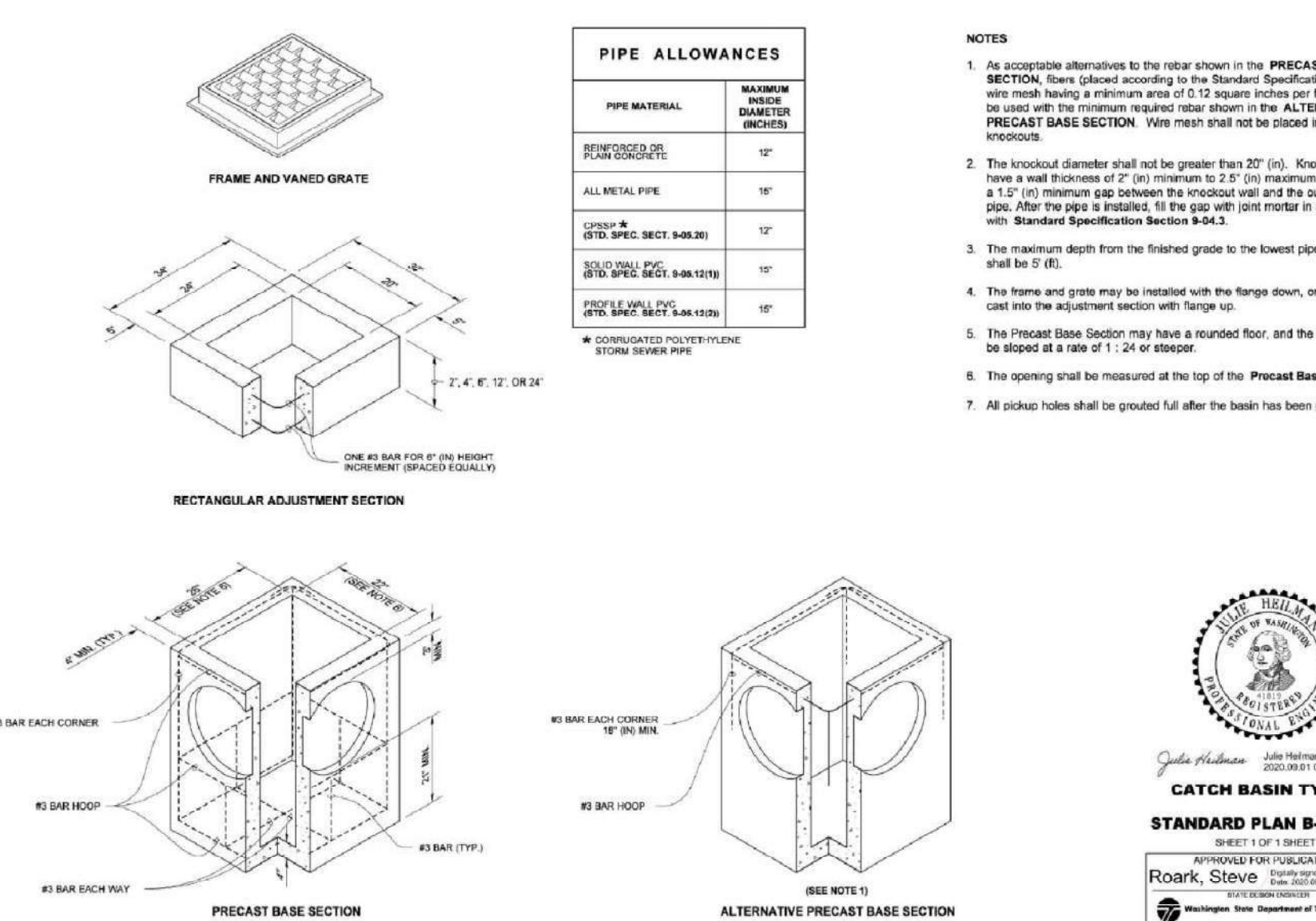
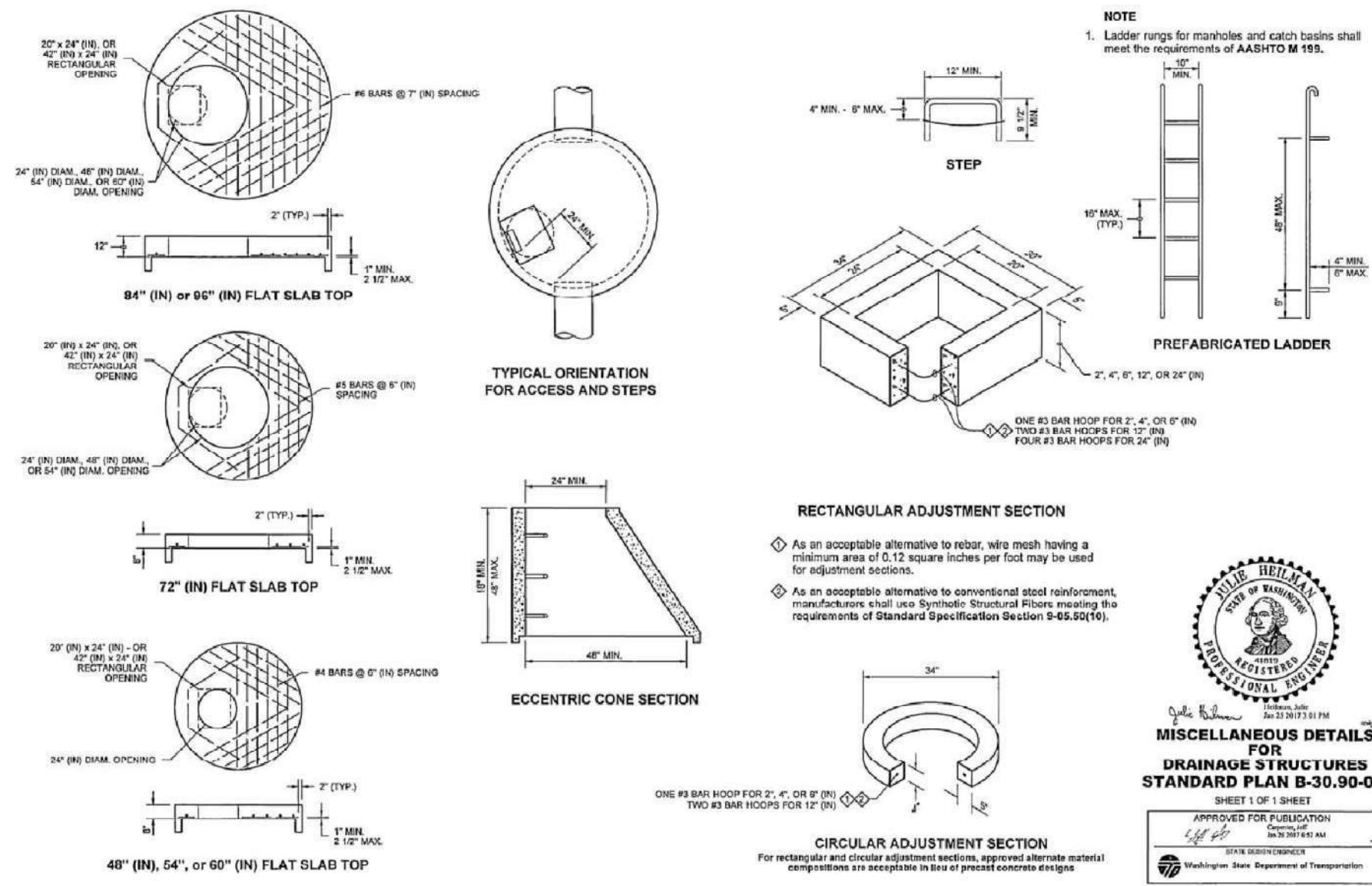
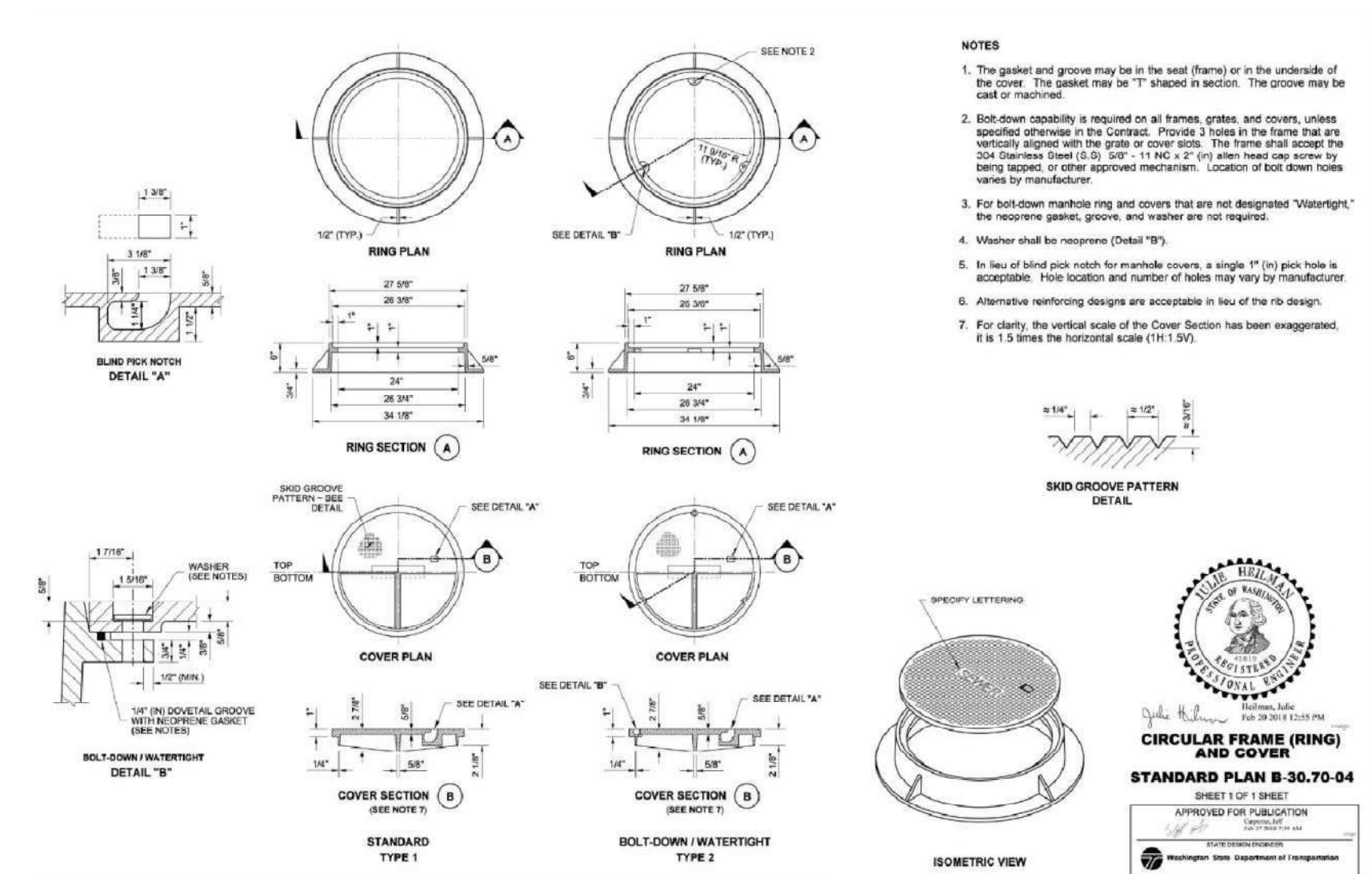
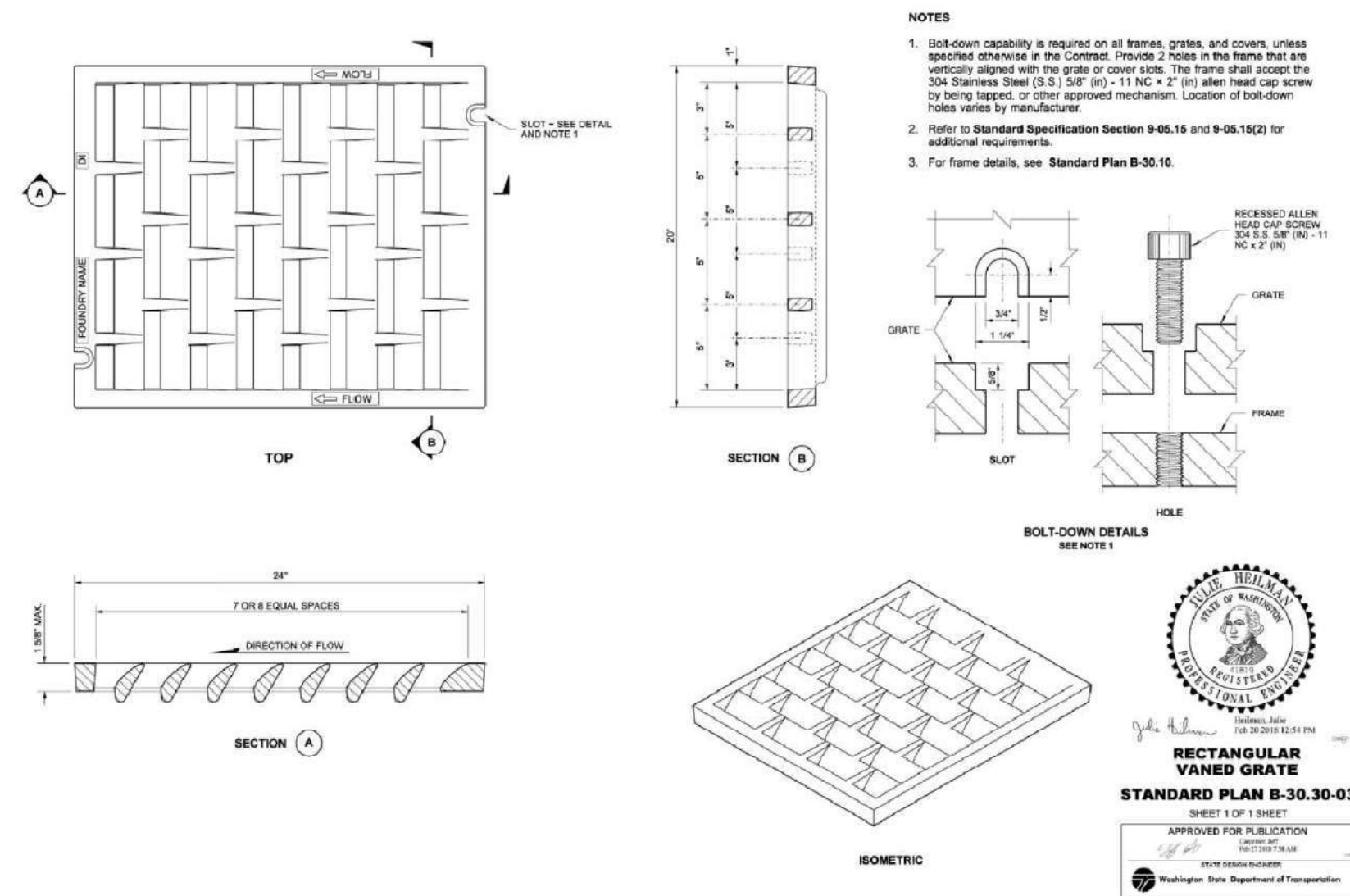
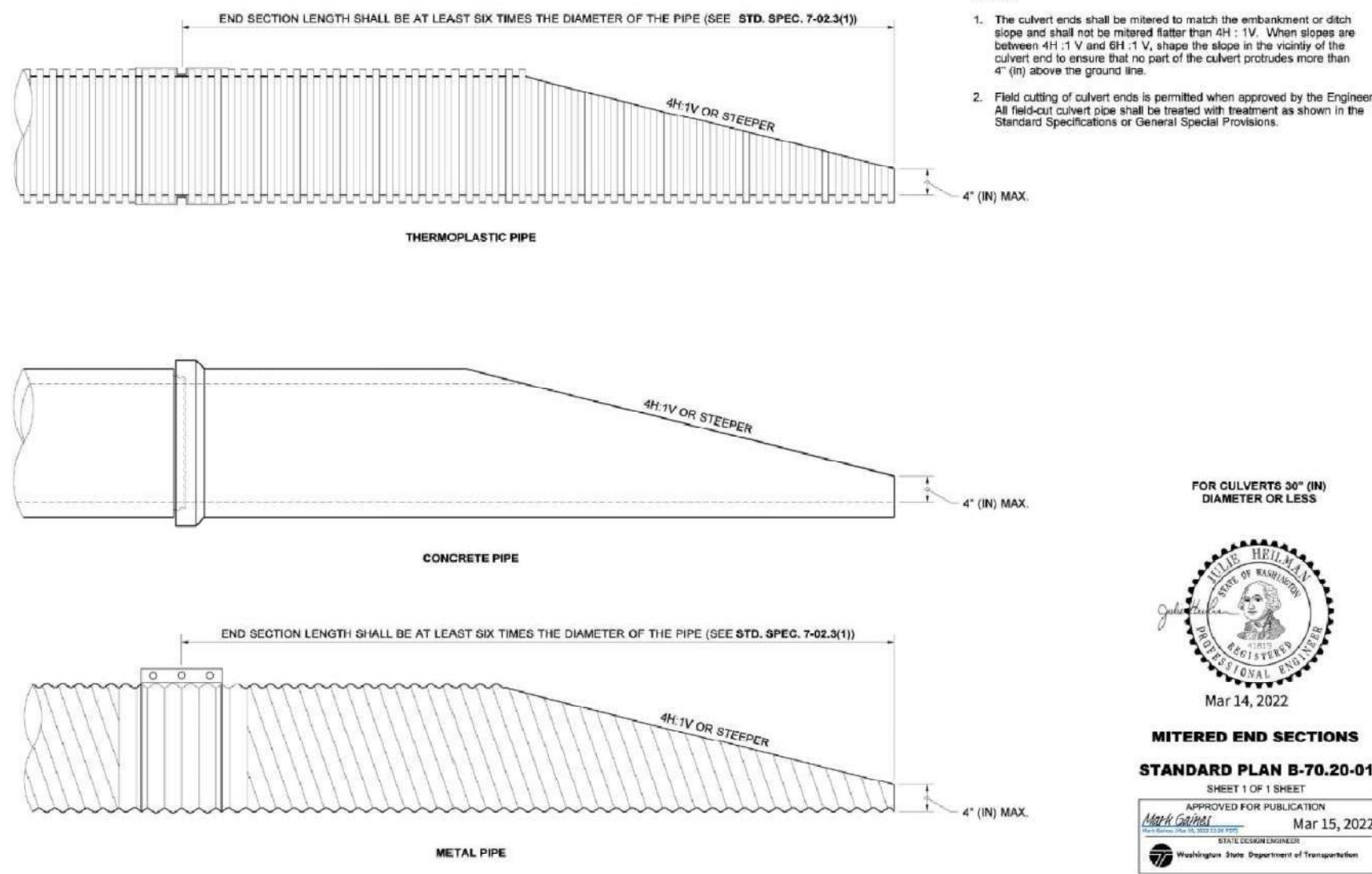
Plan Plotted For:
 Second Submittal

PACIFIC LAND ENGINEERING
 Civil Engineering - Development Services - Land Use Consulting
 Permit Expediter - Survey - Environmental Witness
 Bellevue, WA - www.pacificlandwa.com - (425) 615-6160
 info@pacificlandwa.com

Professional Engineer
 36034
 400-424-5555

Date: 03 / 12 / 2025	Job Number: 240215 - PLE - 2401
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CITY ENGINEER: C - 10.0	Sheet No. C - 14.0

CITY OF MERCER ISLAND APPROVAL
 DATE: _____
 CODE OFFICIAL: _____
 DATE: _____
 CITY ENGINEER: _____



Revisions	No.	Date	By

SUB22 - 009, Site Development Permit # 2409 - 065

Stormwater Standard Details Plan

Plan Plotted For: Second Submittal

PACIFIC LAND ENGINEERING
Civil Engineering - Development Services - Land Use Consulting
Professional Engineer
Blaine, WA - www.pacificlandwa.com - (425) 615-6160
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REGISTERED PROFESSIONAL ENGINEER
No. 36034
Date: 03/12/2025
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CITY OF MERCER ISLAND APPROVAL

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CODE OFFICIAL: _____

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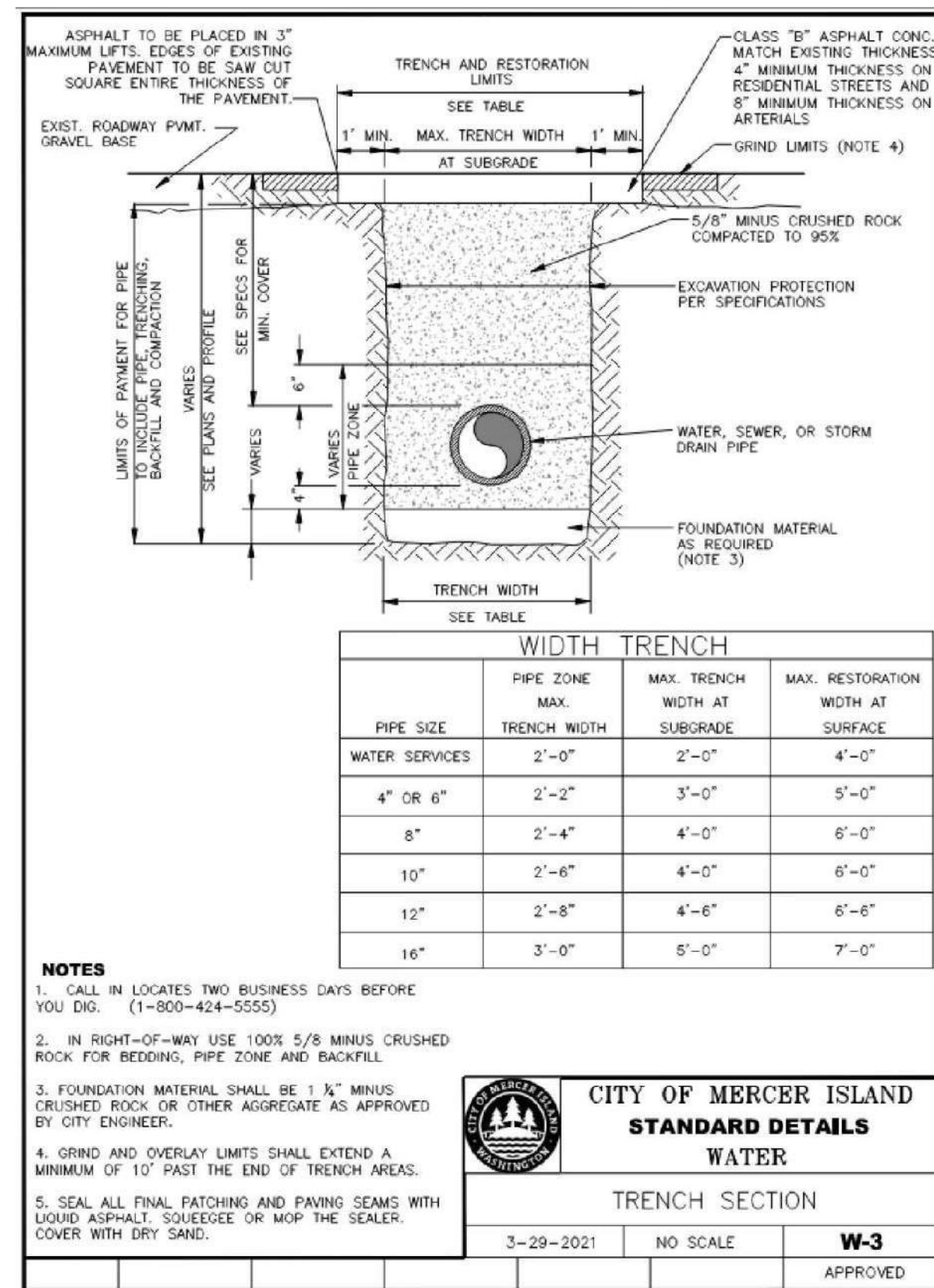
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Job Number: 240215 - PLE - 2401

DWG Date: 03/12/2025

Sheet No. C - 11.0 OF C - 14.0



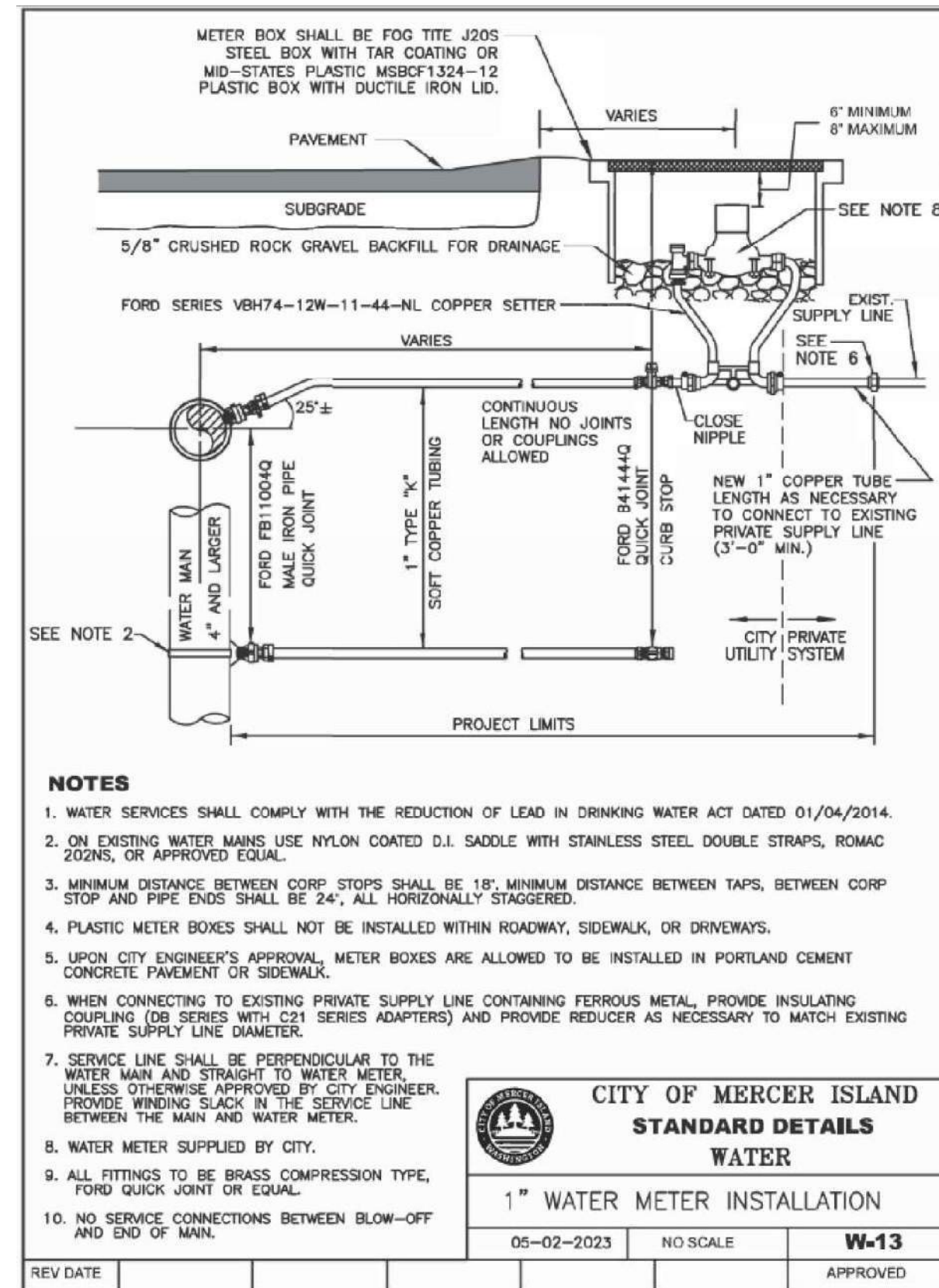


CITY OF MERCER ISLAND STANDARD DETAILS WATER

TRENCH SECTION

3-29-2021 NO SCALE **W-3**

APPROVED

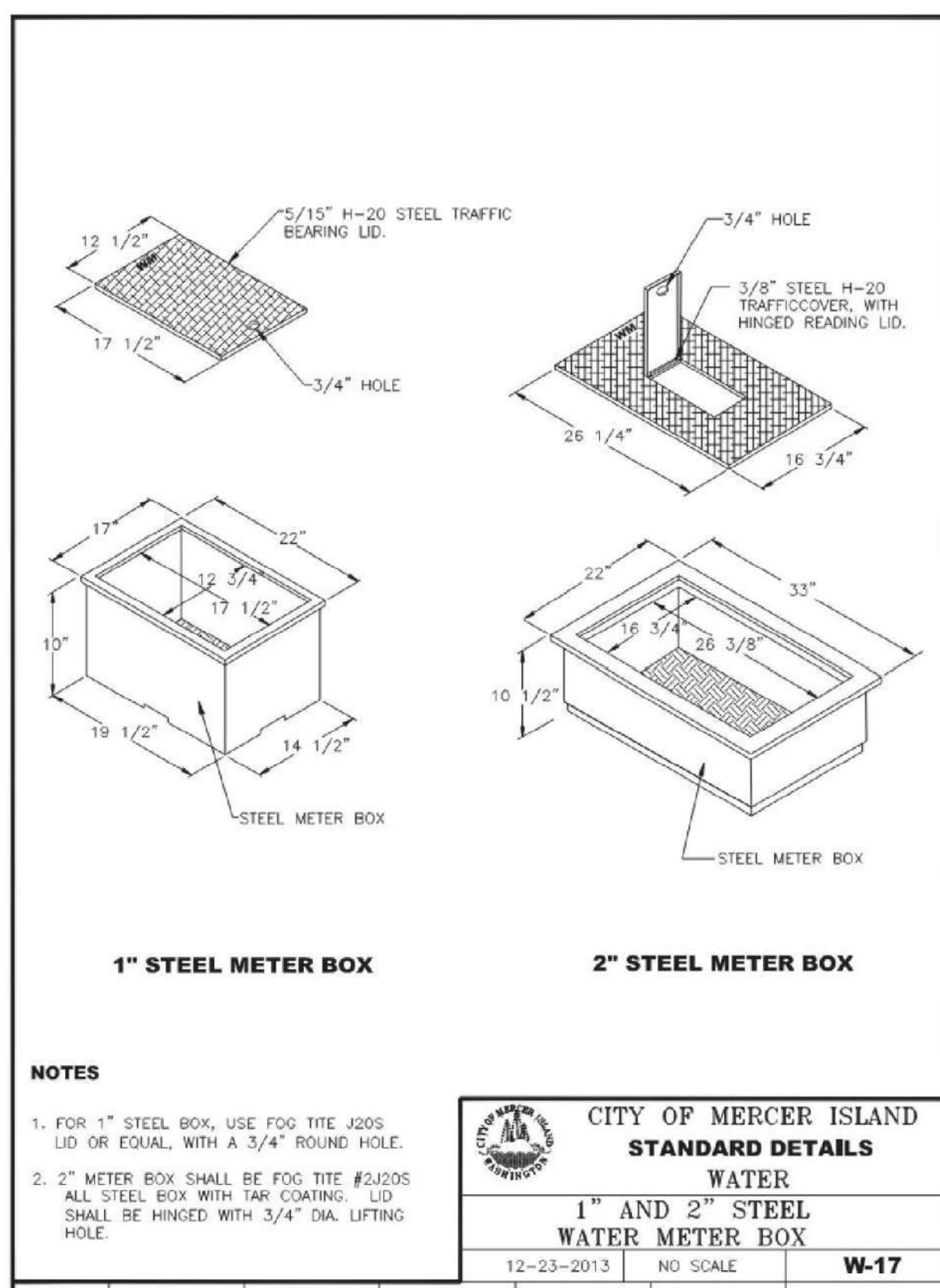


CITY OF MERCER ISLAND STANDARD DETAILS WATER

1" WATER METER INSTALLATION

05-02-2023 NO SCALE **W-13**

APPROVED



CITY OF MERCER ISLAND STANDARD DETAILS WATER

1" AND 2" STEEL WATER METER BOX

12-23-2013 NO SCALE **W-17**

APPROVED

Revisions	No.	Date	By

SUB22 - 009, Site Development Permit # 2409 - 065

Water Standard Details Plan

Plan Plotted For :
Second Submittal

PACIFIC LAND ENGINEERING

Civil Engineering - Development Services - Land Use Consulting
 Permit Expediter - Surveying - Engineering - Survey Witness
 Bellevue, WA - www.pacificlandwa.com - (425) 615-6160
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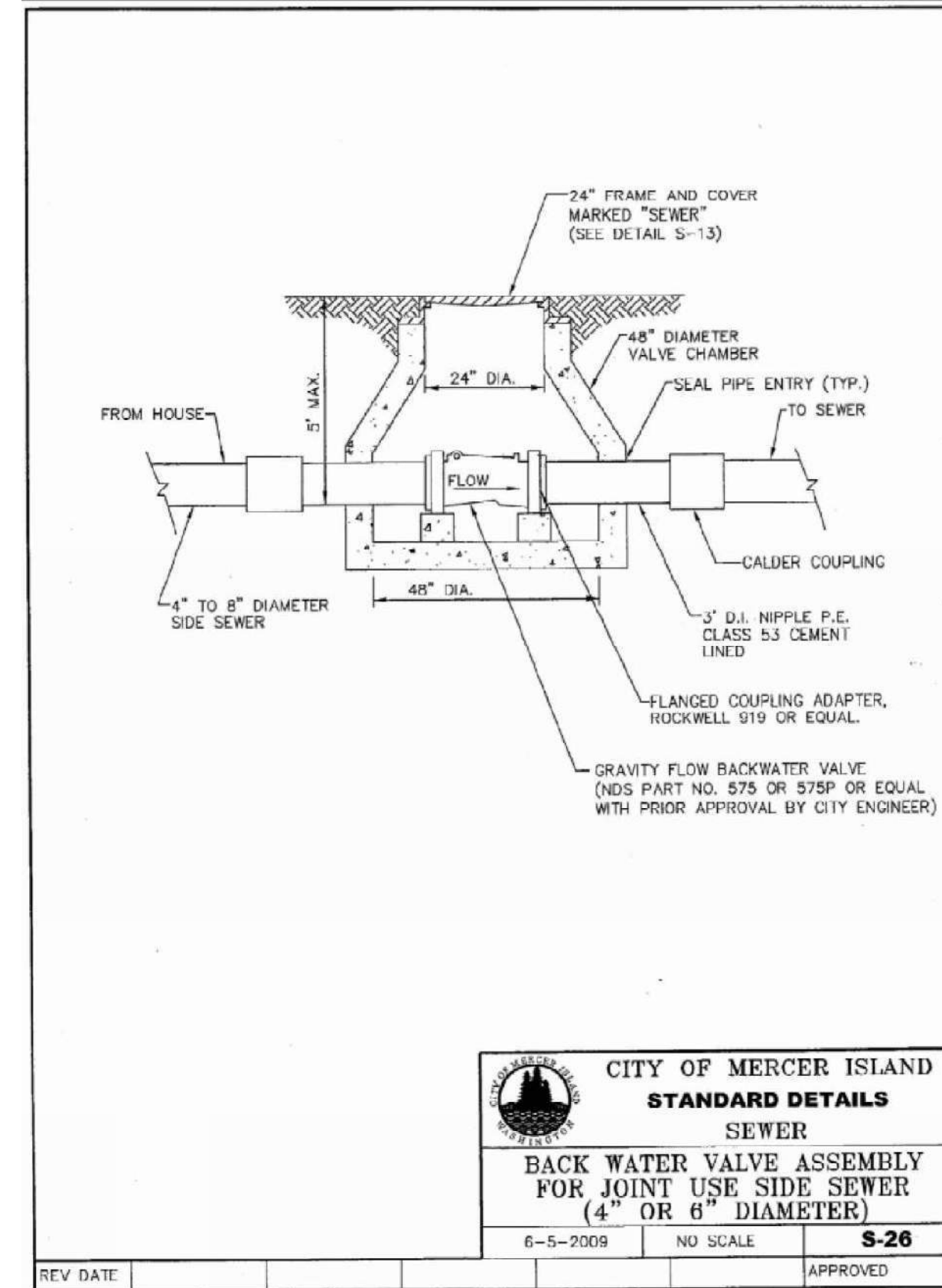
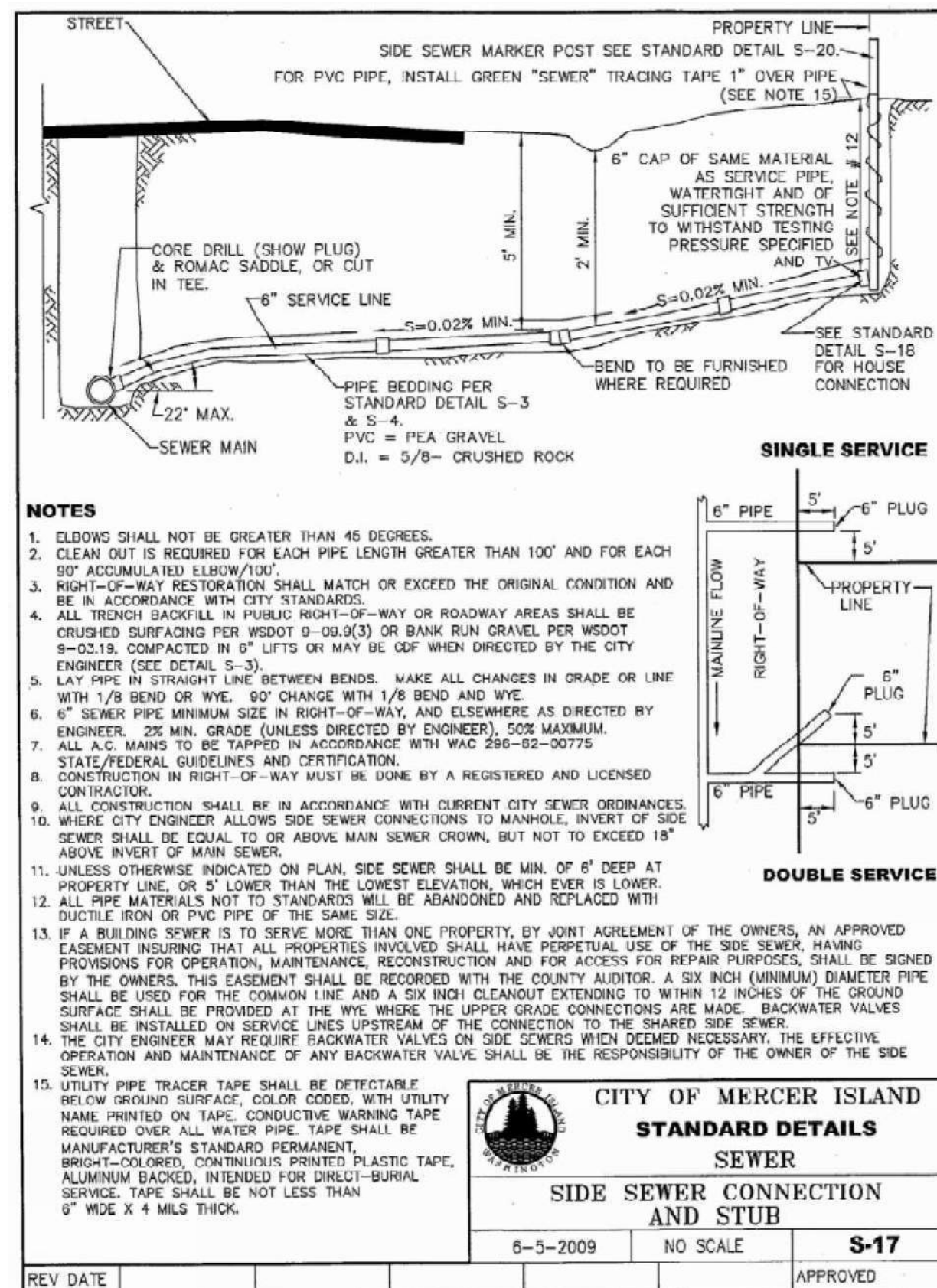
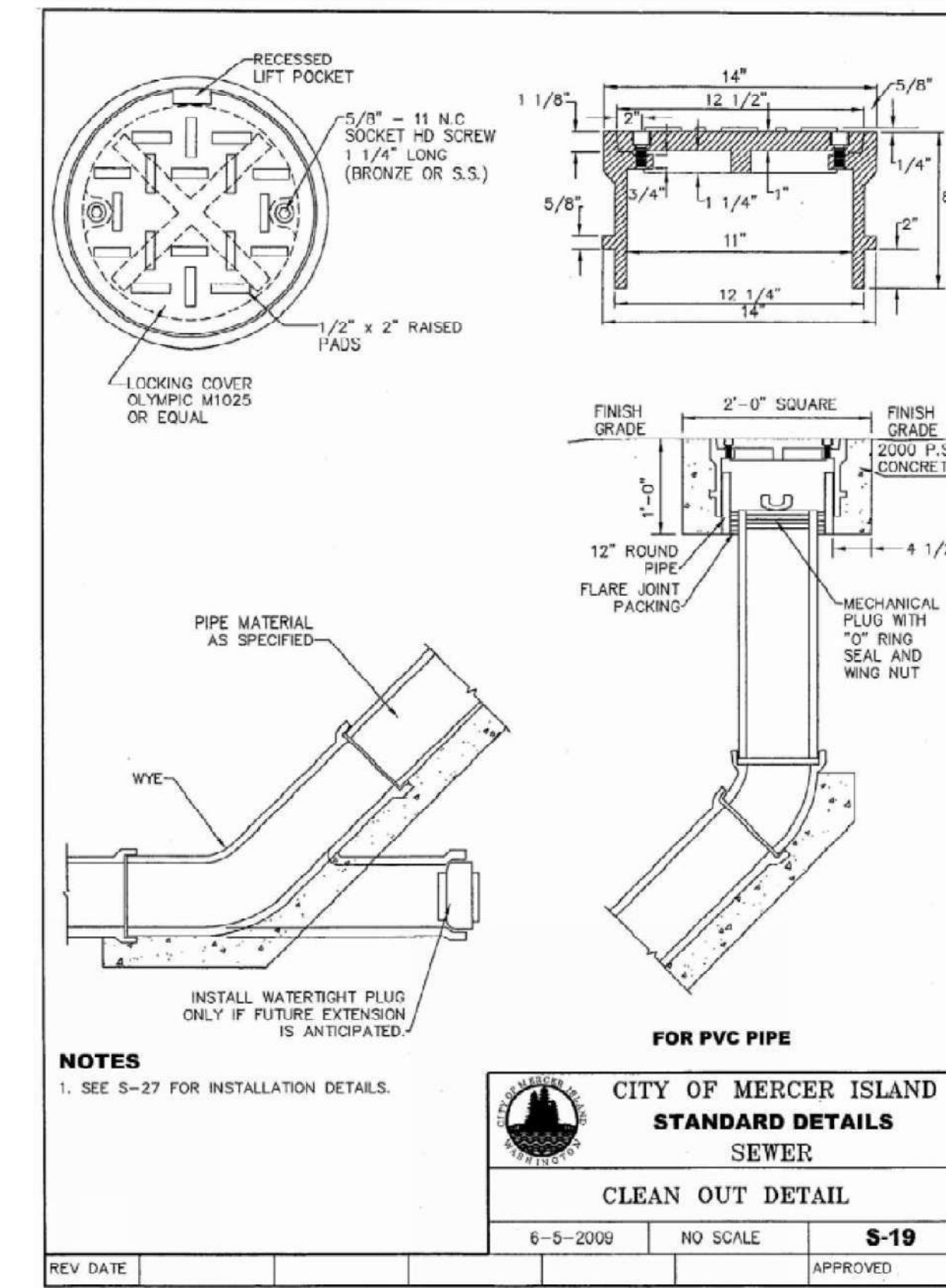
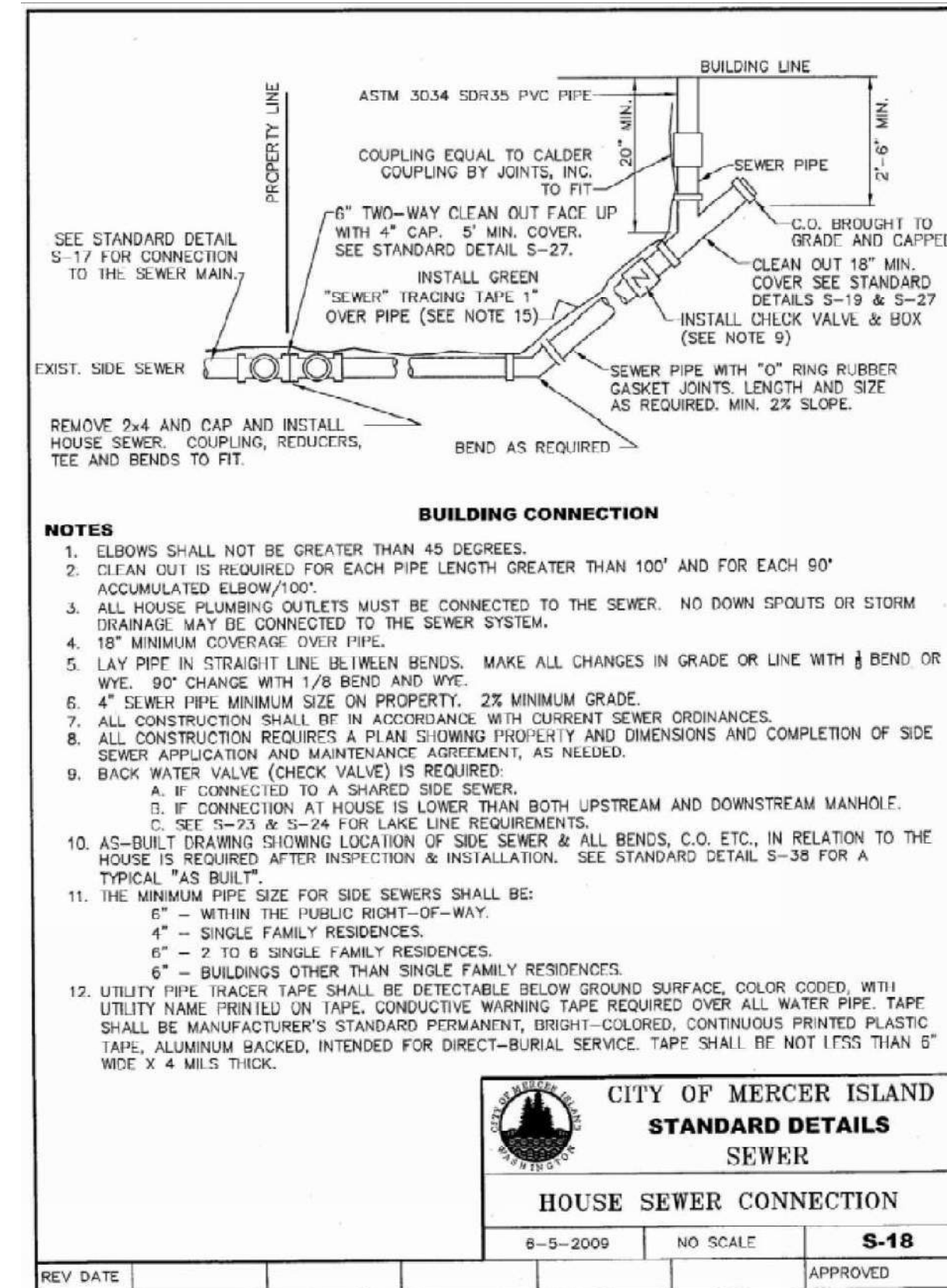
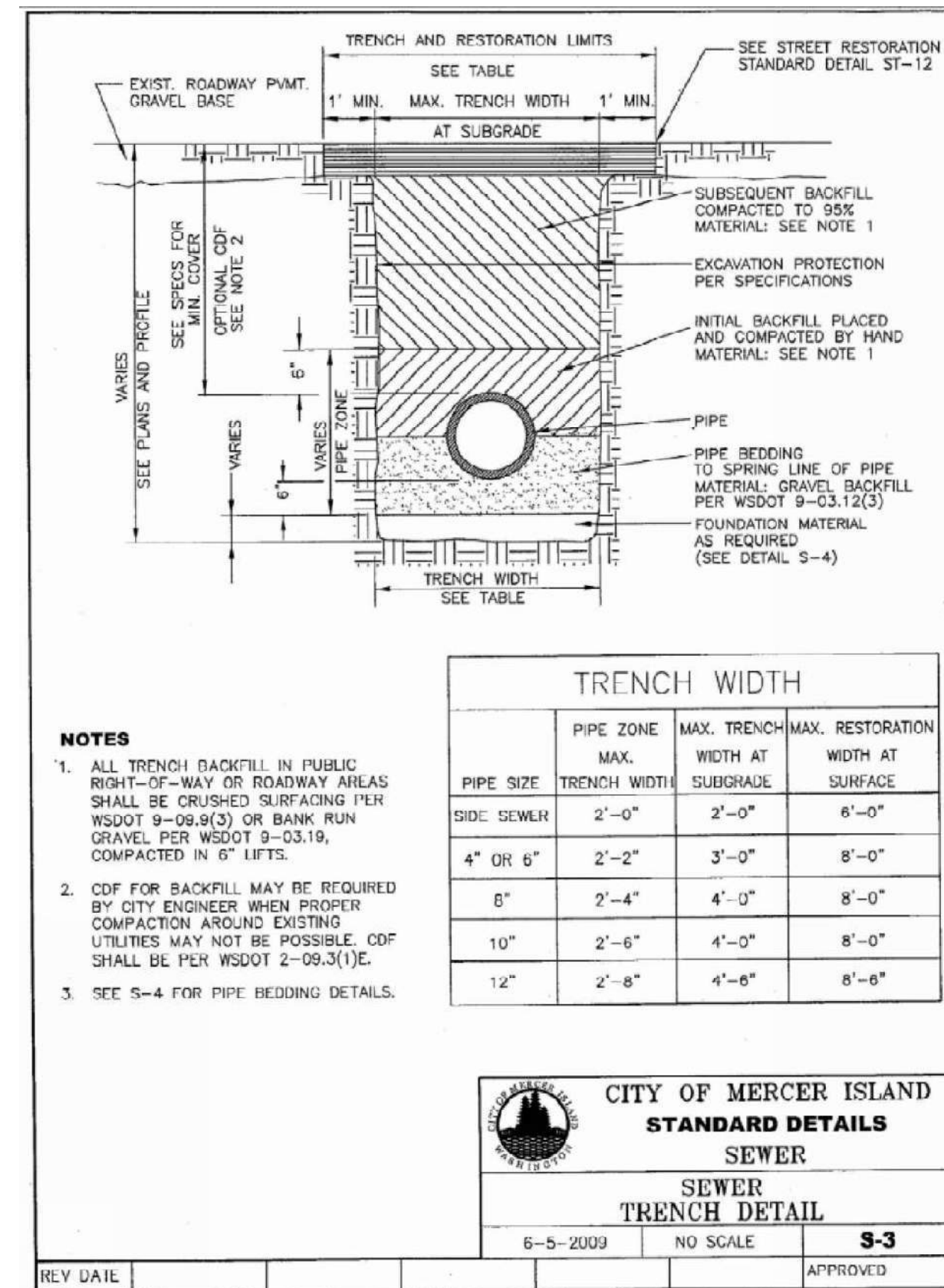
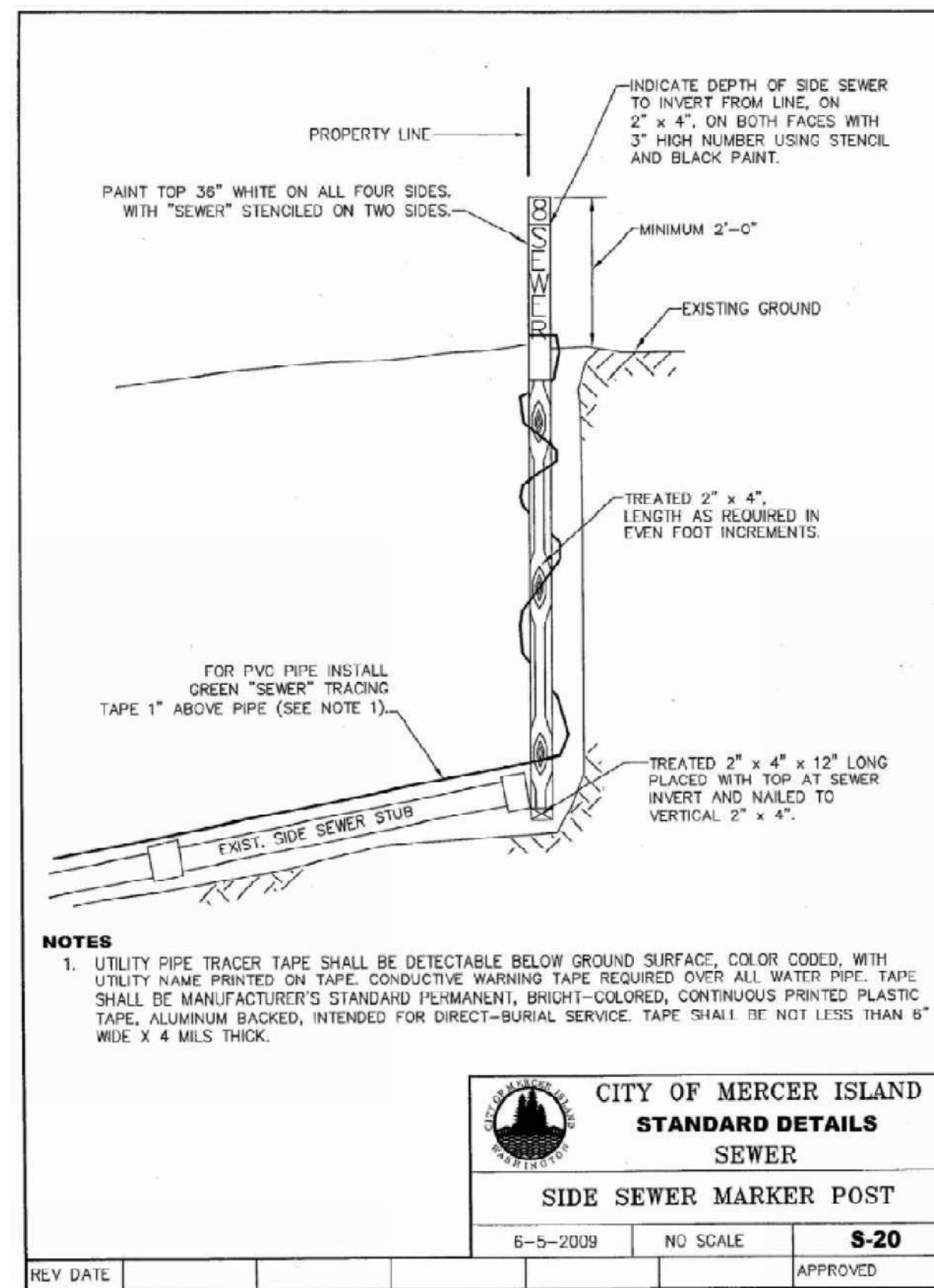
DATE: _____

CITY ENGINEER: _____

Job Number: 240215 - PLE - 2401

DWG Date: 03 / 12 / 2025

Sheet No. C - 12.0 OF C - 14.0



Revisions	No.	Date	By

SUB22 - 009, Site Development Permit # 2409 - 065

Sewer Standard Details Plan

Plan Plotted For:
Second Submittal

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Civil Engineering - Development Services - Land Use Consulting
Professional Engineer
Bilalwan, WA - www.pacificlandwa.com - (425) 615-6160
info@pacificlandwa.com

CITY OF MERCER ISLAND
SEWER
BACK WATER VALVE ASSEMBLY FOR JOINT USE SIDE SEWER (4" OR 6" DIAMETER)

6-5-2009 NO SCALE **S-26**

REV DATE APPROVED



CITY OF MERCER ISLAND APPROVAL

DATE: _____

CODE OFFICIAL: _____

DATE: _____

CITY ENGINEER: _____

Job Number: 240215 - PLE - 2401

DWG Date: 03 / 12 / 2025

Sheet No. C - 13.0 OF C - 14.0

STORM DRAINAGE

PART 1 - GENERAL

1.1 SECTION INCLUDES

A. The work includes constructing drainage pipe and drainage structures.

1.2 STANDARD SPECIFICATIONS

- A. All work shall conform with the 2023 Standard Specifications and Standard Plans for Road, Bridge and Municipal Construction, as published by the Washington State Department of Transportation, unless otherwise indicated herein.
B. The Contractor shall have one copy of the Standard Specifications and Standard Plans at the job site.
C. The Standard Specifications apply only to performance and materials and how they are to be incorporated into the work. The legal/contractual relationship sections, and the measurement and payment sections do not apply to this document.

PART 2 - PRODUCTS

2.1 PIPE

A. Drainage pipe 12 inches and larger shall conform to Section 7-04.2 of the WSDOT Standard Specifications. PVC (polyvinyl chloride) drainage pipe shall have gasketed push-on joints and shall conform to ASTM D 3034-00, SDR 35. LCP (lined corrugated polyethylene pipe) shall be provided with a smooth interior wall and shall conform to AASHTO M 294-S. Couplings shall be gasketed to provide a watertight connection.

B. Drainage pipe 8 inches and smaller shall have flexible, gasketed, push-on joints and be PVC (polyvinyl chloride) SDR 35 conforming to ASTM D 3034-00. Fittings shall be factory molded of PVC. All pipe and fittings shall be legibly and permanently marked with type and class.

2.2 CATCH BASINS AND MANHOLES

A. Catch basins and manholes shall be precast concrete structures conforming to the City of Mercer Island standard notes as shown on the plans. Metal castings shall conform to the City of Mercer Island standard notes as shown on the plans.

2.3 FILTER FABRIC

B. Filter fabric shall be Mirafaj 100X, Typar 3201, Typar 3301 or an approved equal.

2.4 TRENCH DRAIN

A. Trench drain shall be ACO Drain model number FG100 with grate model number 461. Grates shall be locked down with bolted lockings as manufactured by ACO Polymer Products, Inc. All trench drain products shall be the models listed above or an approved equivalent.

2.5 AREA DRAINS

A. Area drains in vehicular areas shall be JR Smith model number 2450 or 2455 Traffic Floor Drains with cast iron grate or an approved equivalent. Outlet pipe shall be 6".

B. Areas drains in pedestrian areas shall be the model shown on the landscaping plans and shall have a heel proof nickel bronze grate.

PART 3 - EXECUTION

3.1 PIPE

A. Pipe shall be installed in conformance with Section 7-04.3 of the WSDOT Standard Specifications. Backfill shall conform to the City of Mercer Island standard notes as shown on the plans.

3.2 STRUCTURES

A. Structures shall be installed in conformance with Section 7-05.3 of the WSDOT Standard Specifications.

3.3 TRENCH DRAIN

A. Trench drains shall be installed per manufacturer's installation instructions and recommendations.

3.4 AREA DRAINS

A. Area drains shall be installed per manufacturer's installation instructions and recommendations.

CLEARING AND GRUBBING

STANDARD SPECIFICATIONS

- A. All work to be performed and materials to be used shall be in accordance with the 2021 Standard Specifications and Standard Plans for Road, Bridge and Municipal Construction, as published by the Washington State Department of Transportation, unless otherwise indicated herein.
B. The Contractor shall have one copy of the Standard Specifications and Standard Plans at the job site.
C. The Standard Specifications apply only to performance and materials and how they are to be incorporated into the work.
D. Disposal shall be in conformance with Section 2-01.2 of the WSDOT Standard Specifications and local jurisdiction requirements.

CLEARING and GRUBBING

The Contractor shall:

- 1. Fell trees only within the area to be cleared.
2. Leave standing any trees or native growth indicated by the Owner's Representative.
3. Trim all trees to be left standing to the height specified by the Owner's Representative, neatly cutting all limbs close to the tree trunk.
4. Thin clumps of native growth as the Owner's Representative may direct.
5. Protect, by fencing if necessary, all trees or native growth from any damage caused by construction operations.
6. Grub deep enough to remove all stumps, large roots, buried logs and other vegetative material.
7. Grub all areas:
a. Indicated by the Owner's Representative.
b. To be excavated.
c. Where subdrainage trenches will be dug, unsuitable material removed or structures built.
d. Upon which embankments will be placed.

WATER

PART 1 - GENERAL

1.1 SECTION INCLUDES

A. The work includes installation of waterlines, water meters, valves and appurtenances.

1.2 STANDARD SPECIFICATIONS

- A. All work shall conform with the 2010 Standard Specifications and Standard Plans for Road, Bridge and Municipal Construction, as published by the Washington State Department of Transportation, unless otherwise indicated herein.
B. The Contractor shall have one copy of the Standard Specifications and Standard Plans at the job site.
C. The Standard Specifications apply only to performance and materials and how they are to be incorporated into the work. The legal/contractual relationship sections, and the measurement and payment sections do not apply to this document.

PART 2 - PRODUCTS

2.1 PIPE AND FITTINGS

A. Pipe and fittings shall conform to the WSDOT Standard Specifications Section 7-09.2 for water mains and Section 7-15.2 for service connections.

2.2 VALVES

A. Valves and valve boxes shall conform to City of Mercer Island standard notes and details as shown on the plans.

2.3 FIRE HYDRANTS

A. Fire hydrants shall conform to City of Mercer Island standard notes and details as shown on the plans.

2.4 POST-INDICATOR VALVE

A. Post indicator valves shall be Mueller Company model number A-20808 or approved equivalent.

2.5 FIRE DEPARTMENT CONNECTION

A. Fire Department connections shall conform to City of Mercer Island standard notes and details as shown on the plans.

2.6 WATER METERS

A. Water meters shall conform to City of Mercer Island standard notes and details as shown on the plans.

2.7 CONCRETE

A. Unreinforced concrete shall be commercial class conforming to Section 6-02.3(2)B of the WSDOT Standard Specifications.

2.8 PLASTIC FOAM (ETHA FOAM)

A. Polyethylene plastic foam shall meet the Federal Specification PPP-C-1752C Type 1, Class 2, (Ethafoam).

PART 3 - EXECUTION

3.1 TRENCHES

A. Trenches shall be excavated and backfilled, and the pipe shall be bedded in conformance with Section 7-09.3 of the WSDOT Standard Specifications.

3.2 PIPES AND VALVES

A. Pipes and valves shall be installed in conformance with Sections 7-09.3 and 7-12.3 of the WSDOT Standard Specifications.

3.3 SERVICE CONNECTIONS

A. Service connections shall be installed in conformance with Section 7-15.3 of the WSDOT Standard Specifications.

CONSTRUCTION ALONG OR ACROSS CITY RIGHT-OF-WAY

- 1. THE CITY SHALL EXERCISE FULL CONTROL OF ALL EXCAVATING, CONSTRUCTION AND OTHER WORK IN CITY RIGHT-OF-WAY. THE ENGINEERING DEPARTMENT SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
2. NO CONSTRUCTION MATERIALS MAY BE STORED IN THE RIGHT-OF-WAY WITHOUT PERMISSION OF THE CITY ENGINEER.
3. NO OPEN-CUT CROSSINGS OF CITY STREETS SHALL BE MADE WITHOUT WRITTEN APPROVAL AND AN APPROVED TRAFFIC CONTROL PLAN.
4. ALL OPEN-CUTS OF CITY STREETS SHALL BE AS FOLLOWS:
A) EXISTING SURFACE TO BE PRE-CUT TWO FEET WIDER THAN TOP OF TRENCH WIDTH.
B) BACKFILLING AND MECHANICAL COMPACTION TO 95 PERCENT OF MAXIMUM DENSITY TO BE ACCOMPLISHED IN A MAXIMUM OF 1-FOOT LIFTS IMMEDIATELY AFTER INSTALLATION.
C) BACKFILL MATERIAL SHALL BE COMPLETELY GRANULAR AND FREE DRAINING, AND MUST BE APPROVED FOR USE PRIOR TO PLACEMENT. GENERALLY, THIS REQUIREMENT WILL BE MET ONLY WITH IMPORTED MATERIAL.
D) TEMPORARY PATCH OF NO LESS THAN 2-INCHES OF COLD MIX ASPHALT CONCRETE SHALL BE PLACED IMMEDIATELY FOLLOWING COMPACTION.
5. FINAL RESTORATION OF OPEN-CUT SHALL BE ACCOMPLISHED PRIOR TO FINAL CLEANUP AS FOLLOWS:
A) REMOVE TEMPORARY COLD PATCH. SAW CUT AND TRIM EDGES OF EXISTING ROAD SURFACE TO A NEAT LINE AND THEN TACK PLACE COMPACTED CLASS "B" ASPHALT CONCRETE TO THICKNESS SHOWN ON THE STANDARD DETAILS (MINIMUM OF 2-INCH DEPTH). LEVEL TO CONFORM TO ADJACENT SURFACES.
B) SHOULDERS DISTURBED BY EXCAVATION SHALL BE RE-SHAPED TO ORIGINAL CONDITION AND SURFACED WITH A MINIMUM 2" COMPACTED THICKNESS OF CRUSHED SURFACING TOP COURSE.
C) ALL BACKFILL OF TRENCHES WITHIN THE IMPROVED ROADWAY SHALL BE COMPACTED BY MECHANICAL MEANS TO THE MINIMUM DENSITY OF 95 PERCENT. UPON REQUEST, THE CONTRACTOR SHALL AT HIS EXPENSE FURNISH AS MANY COMPACTION TESTS AS ARE NECESSARY FOR PROOF OF MINIMUM COMPACTION. COMPACTION BY OTHER METHODS SHALL BE PERMITTED ONLY WITH THE CONSENT OF THE ENGINEERING DEPARTMENT.
D) BACKFILLING AND RESTORATION OF TRENCHES IN NON-ROADWAY AREAS SHALL BE ACCOMPLISHED AS FOLLOWS:
I. BACKFILLING SHALL BE IN ACCORDANCE WITH PARAGRAPHS "B" AND "C" OF ITEM "A" ABOVE.
II. TOPSOIL CONFORMING TO SECTION 9-14 OF THE STANDARD SPECIFICATIONS SHALL BE PLACED ON ALL AREAS REQUIRING SEEDING OR SODDING:
a. AREAS TO BE SEEDED SHALL RECEIVE 4 INCHES OF TOPSOIL.
b. AREAS TO BE SODDED SHALL RECEIVE 3 INCHES OF TOPSOIL.
6. EXISTING DRAINAGE DITCHES, CULVERTS, ETC., SHALL BE KEPT CLEAN AT ALL TIMES. TEMPORARY DIVERSION OF ANY DRAINAGE SYSTEM SHALL NOT BE PERMITTED WITHOUT PRIOR APPROVAL. ANY DRAINAGE CULVERTS, CATCH BASINS, MANHOLES, ETC., DAMAGED BY EXCAVATION SHALL BE REPAIRED OR REPLACED USING NEW MATERIALS AS DIRECTED.
7. IF, IN THE OPINION OF THE ENGINEERING DEPARTMENT, IT APPEARS THAT THE TRAVELED ROADWAY IS, OR MAY BECOME, UNSAFE FOR THE TRAVELING PUBLIC DUE TO WEATHER OR FOR OTHER REASONS, EXCAVATION SHALL CEASE IMMEDIATELY, AND CLEANUP SHALL BE PROMPTLY ACCOMPLISHED.
8. THE LENGTH OF OPEN TRENCH ON STREETS SHALL BE A MAXIMUM OF 200 LINEAL FEET.
9. ALL PIPE STRUNG ALONG CITY RIGHT-OF-WAY SHALL BE PLACED AT A SAFE DISTANCE FROM THE TRAVELED ROADWAY IN SUCH A MANNER AS TO PREVENT ACCIDENTAL ROLLING ONTO ROADWAY.
10. FINAL CLEANUP, INCLUDING COMPLETE RESTORATION OF SHOULDERS, CLEANING OF DITCHES, CULVERTS AND CATCH BASINS, REMOVAL OF LOOSE MATERIAL FROM BACKSLOPE OF DITCHES, SHALL NOT EXCEED 400 LINEAL FEET BEHIND EXCAVATING OPERATIONS. IF THE FINAL RESTORATION OF OPEN CUTS IS INADEQUATE TO PROTECT THE BASE MATERIALS OF THE STREET FROM INTRUSION BY WATER, THE CONTRACTOR SHALL BE REQUIRED TO SEAL COAT THE FULL WIDTH OF THE STREET.
11. THE STREET SURFACE SHALL BE CLEANED AT THE END OF EACH DAY'S OPERATION WITH A POWER BROOM OR OTHER APPROVED MEANS.
12. NO EXCESS MATERIAL OR UNSUITABLE MATERIAL SHALL BE WASTED ON CITY RIGHT-OF-WAY WITHOUT APPROVAL, NOR ON PRIVATE PROPERTIES WITHOUT WRITTEN CONSENT OF THE OWNER(S).
13. ALL MATERIALS SHALL BE READILY AVAILABLE TO THE JOB SITE AND PROVISIONS SHALL BE MADE TO COMPLETE THE CONSTRUCTION IN ONE CONTINUOUS OPERATION. FAILURE TO COMPLY SHALL RESULT IN EXCAVATION BEING HALTED UNTIL SUCH TIME AS THE CONDITIONS ARE CORRECTED.
14. ALL MATERIALS SHALL BE READILY AVAILABLE TO THE JOB SITE AND PROVISIONS SHALL BE MADE TO COMPLETE THE CONSTRUCTION IN ONE CONTINUOUS OPERATION. FAILURE TO COMPLY SHALL RESULT IN EXCAVATION BEING HALTED UNTIL SUCH TIME AS THE CONDITIONS ARE CORRECTED.
15. FINAL INSPECTION AND APPROVAL:
A) ON-SITE INSPECTION DURING CONSTRUCTION SHOULD BE PROVIDED BY THE OWNER AND/OR CITY OF MERCER ISLAND, AT THE CURRENT RATE/HOUR (SEE FEE SCHEDULE).
B) THE USE OF CONSTRUCTED UTILITIES SHALL NOT BE PERMITTED UNTIL FINAL INSPECTION AND APPROVAL OF THE WORK, UNLESS SPECIAL WRITTEN PERMISSION IS OBTAINED FROM THE CITY ENGINEER.
C) PRIOR TO FINAL APPROVAL OF CONSTRUCTION, A VISUAL INSPECTION OF THE SITE WILL BE MADE BY THE DEVELOPMENT SERVICES DEPARTMENT. RESTORATION OF THE AREA MUST BE COMPLETE BEFORE FINAL ACCEPTANCE.
D) AS-BUILT MAPS SHALL BE PROVIDED TO THE CITY THAT INDICATE THE LOCATION OF ALL OF THE IMPROVEMENTS AND ANY UTILITIES ENCOUNTERED DURING THE WORK.

GENERAL NOTES

1. STANDARD SPECIFICATIONS

- (A) ALL WORK TO BE PERFORMED AND MATERIALS TO BE USED SHALL BE IN ACCORDANCE WITH THE WSDOT/APWA 2004 STANDARD SPECIFICATIONS AND STANDARD PLANS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, AS APPLICABLE AND AS MODIFIED BELOW, AND UNLESS OTHERWISE NOTED, SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF MERCER ISLAND.
(B) LOCAL AMENDMENTS TO THE STANDARD SPECIFICATIONS, CONSISTING OF STANDARD DRAWINGS AND SPECIAL TECHNICAL CONDITIONS ARE REFERENCED IN THESE NOTES. COPIES OF THESE DOCUMENTS ARE AVAILABLE AT THE OFFICE OF THE CITY ENGINEER, CITY OF MERCER ISLAND, 9611 SE 36TH STREET, MERCER ISLAND, WA 98040.
(C) THESE SPECIFICATIONS SHALL BE APPLICABLE FOR, BUT NOT LIMITED TO, PUBLIC AND PRIVATE STREETS, DRIVEWAYS, PARKING LOTS, COMMERCIAL AND INDUSTRIAL DEVELOPMENTS, APARTMENTS, ETC. WORK IN PRIVATE DEVELOPMENTS SHALL CONFORM TO THE SAME STANDARDS OF WORKMANSHIP AND MATERIALS AS ARE SPECIFIED WITHIN THE CITY RIGHT-OF-WAY, EXCEPT AS INDICATED ON THE PLANS.

2. PERMITS

PRIOR TO CONSTRUCTION, AND IN ADDITION TO ANY OTHER PERMITS REQUIRED, A CITY OF MERCER ISLAND "STREET USE PERMIT" MUST BE OBTAINED FOR ANY AND ALL WORK WITHIN THE CITY RIGHT-OF-WAY.

3. PLANS

IT IS A REQUIREMENT OF THE CITY OF MERCER ISLAND ENGINEERING DEPARTMENT, THAT AN APPROVED SET OF CONSTRUCTION PLANS FOR ALL WORK BE KEPT ON THE CONSTRUCTION SITE AT ALL TIMES DURING THE CONSTRUCTION PERIOD.

4. INSPECTION

THE ENGINEERING DEPARTMENT CONSTRUCTION INSPECTOR 236-5300, OR 236-3587, (24-HR TAPED INSPECTION LINE) SHALL BE NOTIFIED 24-HOURS PRIOR TO STARTING ANY TYPE OF CONSTRUCTION INCLUDING CLEARING, SANITARY SEWERS, WATER MAINS, STORM DRAINS, CURB AND GUTTERS, SIDEWALKS, DRIVEWAYS, STREET GRADING AND PAVING.

TRAFFIC CONTROL IN THE CITY RIGHT-OF-WAY

- 1. ALL SIGNS, BARRICADES AND RELATED EQUIPMENT AND THEIR USE MUST BE IN ACCORDANCE WITH PART 6, "TEMPORARY TRAFFIC CONTROL" OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AS PREPARED BY THE NATIONAL JOINT COMMITTEE ON UNIFORM TRAFFIC CONTROL DEVICES.
2. PARTICULAR ATTENTION SHOULD BE MADE TO THE FOLLOWING ITEMS:
A) THERE SHALL BE AT ALL TIMES REASONABLE PEDESTRIAN AND VEHICULAR ACCESS TO AND EGRESS FROM THE PROPERTIES ADJACENT TO THE PROJECT, SO FAR AS POSSIBLE.
B) DURING NON-WORKING HOURS, THE CONTRACTOR SHALL KEEP THE EXISTING TRAFFIC LANES CLEAR FOR TRAFFIC WITHOUT INTERFERENCE FROM HIS OPERATIONS SO FAR AS POSSIBLE.
C) SIGNS AND BARRICADES SHALL BE SUPPLEMENTED BY FLASHER UNITS DURING THE HOURS OF DARKNESS AT CONSTRUCTION SITES IN CLOSE PROXIMITY TO VEHICULAR AND PEDESTRIAN WAYS.
D) THE PUBLIC SAFETY DEPARTMENT (236-3500) SHALL BE NOTIFIED 24 HOURS PRIOR TO BARRICADING OR CLOSING OF STREETS. PROPER PROVISIONS SHALL BE MADE FOR THE PUBLIC CONVENIENCE, SAFETY AND TRAVEL.
E) ANY ASPHALT CONCRETE PAVEMENTS, CRUSHED SURFACING, GRAVEL BASE OR WATER REQUIRED FOR MAINTAINING TRAFFIC DURING THE LIFE OF THE PROJECT SHALL BE PLACED BY THE CONTRACTOR IMMEDIATELY UPON REQUEST BY THE ENGINEER.
F) ALL UNATTENDED EXCAVATIONS SHALL BE PROPERLY BARRICADED SO AS TO PREVENT ACCIDENTS.

CONTROL OF MATERIAL

1. THE SOURCE OF SUPPLY AND A DETAILED LIST OF EACH LIST OF EACH OF THE MATERIALS FURNISHED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO DELIVERY. ONLY MATERIALS CONFORMING TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPROVED BY THE CITY SHALL BE USED IN THE WORK. TESTING OF MATERIALS MAY INCLUDE TESTS OF ACTUAL SAMPLES, MANUFACTURER'S CERTIFICATIONS, APPROVAL OF CATALOGUE CUTS, OR FIELD ACCEPTANCE REPORTS. TESTING OF MATERIALS FOR INCORPORATION IN PRIVATE WORK SHALL BE PERFORMED AT OTHER THAN CITY EXPENSE.

2. CONCRETE CEMENT MIX FOR SIDEWALK AND ALL OTHER CONCRETE PAVEMENTS SHALL HAVE MINIMUM STRENGTH OF 4,000 PSI. CONTRACTOR AND/OR THE CONCRETE CEMENT SUPPLIER SHALL SUBMIT AND OBTAIN APPROVAL FOR THE CEMENT CONCRETE MIX MATERIAL LIST AND TESTING INFORMATION TO THE CITY OF MERCER ISLAND PRIOR TO INSTALLATION.

STORM DRAINAGE CONSTRUCTION

- 1. STORM DRAINAGE PIPE
PIPE SHALL BE CONCRETE OR ALUMINUM METAL, WITHIN THE PUBLIC RIGHT OF WAY. CONCRETE PIPE UP TO AND INCLUDING 24" DIAMETER SHALL BE UNREINFORCED AND SHALL CONFORM TO ASTM C-14, TABLE II, EXTRA STRENGTH, RUBBER GASKETED. CORRUGATED ALUMINUM ALLOY CULVERT PIPE SHALL BE AASHTO M-196, M-197, M-211, AND M-219, HELICAL, GAUGES AND TYPES SHALL BE AS NOTED ON THE PLANS. REINFORCED PIPE SHALL CONFORM TO ASTM DESIGNATION C-76 UNLESS OTHERWISE SPECIFIED. STORM SEWER DETENTION PIPE GREATER THAN 24" DIAMETER SHALL BE RUBBER GASKETED, HELICAL CORRUGATED ALUMINUM PIPE. BEDDING TO BE CLASS "C". GAUGE OF PIPE WILL BE AS SHOWN ON THE PLANS. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 7-04 OF THE SPECIFICATIONS AND MAY BE SUBJECT TO EXFILTRATION TEST.
2. OTHER MATERIALS
OTHER MATERIALS FOR STORM DRAINAGE CONSTRUCTION REQUIRE WRITTEN APPROVAL OF THE CITY ENGINEER.
3. BACKFILL RESTRICTIONS
A) BEDDING SHALL CONFORM TO STANDARD PLAN B-11.
B) MINIMUM COVER OVER STORM DRAIN SHALL BE 18".
C) TRENCH BACKFILL COMPACTED TO 95% OF MAXIMUM DENSITY SHALL BE REQUIRED WHEREVER TRENCH EXCAVATION IS MADE IN PAVED ROADWAY, SIDEWALK OR ANY OTHER AREA WHERE MINOR SETTLEMENT WOULD BE DETRIMENTAL.
4. CATCH BASINS
A) TYPE 1, CATCH BASIN INLET SHALL CONFORM TO SECTION 7-05 OF THE STANDARD SPECIFICATIONS AND AS SHOWN ON STANDARD PLAN B-1. THE MAXIMUM DISTANCE TO INVERT IS 5'0" WITH A MAXIMUM PIPE DIAMETER UP TO 12" FOR CONCRETE PIPE, 15" FOR CMP. THE SUMP IS A MINIMUM OF 15".
B) TYPE 2, CATCH BASIN INLET SHALL CONFORM TO SECTION 7-05 OF THE STANDARD SPECIFICATIONS AND AS SHOWN ON STANDARD PLAN B-1E. MAXIMUM PIPE DIAMETER OF 24" FOR CONCRETE PIPE, 30" FOR CMP; A MINIMUM OF 8" BETWEEN HOLES. THE SUMP IS A MINIMUM OF 24".
5. INLETS
CURB INLETS SHALL BE APPROVED BY THE CITY ENGINEER
6. GRATE COVERS
A) COVERS FOR CATCH BASINS AND INLETS SHALL CONFORM TO OLYMPIC FOUNDRY CO. #SM50G OR EQUAL FOR SLOPES LESS THAN 3%. WHERE SLOPES EXCEED 3%, USE OLYMPIC FOUNDRY CO. #SM50VG. GRATES SHALL BE DUCTILE IRON AND HAVE THE LETTERS "DUCT" CAST IN THE COVER.
B) SOLID COVERS FOR MANHOLES, WHERE PERMITTED, SHALL BE 24" DIAMETER, WITH "DRAIN" CAST IN COVER IN 2" LETTERS, CONFORMING TO OLYMPIC FOUNDRY CO. MH43, INLAND FOUNDRY NO. 835, OR APPROVED EQUAL.
C) DRAINAGE STRUCTURES NOT WITHIN PUBLIC RIGHT-OF-WAY SHALL HAVE LOCKING LIDS.
7. FRAMES
FRAMES FOR CATCH BASINS AND INLETS SHALL BE OF CAST IRON OR DUCTILE IRON CONFORMING TO OLYMPIC FOUNDRY CO. SM50 OR EQUAL. VANED GRATES (SM50V) SHALL BE INSTALLED WHERE SHOWN ON THE PLANS, EXCEPT THROUGH-CURB INLET FRAMES WHICH SHALL CONFORM TO OLYMPIC FOUNDRY CO. SM52 OR EQUAL.

EROSION AND SEDIMENTATION CONTROL

- 1. THE IMPLEMENTATION OF THESE EROSION SEDIMENTATION CONTROL (ESC) PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE PERMIT HOLDER/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
2. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS, AND MUST BE COMPLETED PRIOR TO ALL OTHER CONSTRUCTION.
3. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G. ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES) AS NEEDED FOR UNEXPECTED STORM EVENTS. ADDITIONALLY MORE ESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.
4. THE ESC FACILITIES SHALL BE INSPECTED DAILY DURING NON-RAINFALL PERIODS, EVERY HOUR (DAYLIGHT) DURING A RAINFALL EVENT AND AT THE END OF EVERY RAINFALL BY THE PERMIT HOLDER/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, TEMP. SILTATION PONDS AND ALL TEMP. SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND OR CONSTRUCTION IS COMPLETED. PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED.
5. ANY AREA STRIPPED OF VEGETATION, INCLUDING ROADWAY EMBANKMENTS WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF SEVEN (7) DAYS, SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G. SEEDING, MULCHING, NETTING, EROSION BLANKETS, ETC.).
6. ANY AREAS NEEDING ESC MEASURE, NOT REQUIRING IMMEDIATE ATTENTION, SHALL BE ADDRESSED WITHIN SEVEN (7) DAYS.
7. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A STORM EVENT.
8. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER DOWNSTREAM SYSTEM.
9. STABILIZED CONSTRUCTION ENTRANCES AND WASH PADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL REQUIREMENTS MAY BE REQUIRED BY THE INSPECTOR TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN OF SILT FROM CONSTRUCTION VEHICLES.
10. WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE. (E.G. ANNUAL OR PERENNIAL RYE APPLIED AT APPROXIMATELY 80 POUNDS PER ACRE)
11. WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF THREE INCHES.
12. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF MERCER ISLAND STANDARDS AND SPECIFICATIONS.
13. EROSION/SEDIMENTATION CONTROLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS IN THE DEPARTMENT OF ECOLOGY STORMWATER MANAGEMENT MANUAL, UNLESS APPROVED BY THE CITY ENGINEER.
14. A COPY OF THE APPROVED EROSION CONTROL PLANS MUST BE ON THE JOBSITE WHENEVER CONSTRUCTION IS IN PROGRESS.
15. TEMPORARY EROSION/SEDIMENTATION CONTROLS SHALL BE INSTALLED AND OPERATING PRIOR TO ANY GRADING OR LAND CLEARING.
16. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
17. ALL CUT AND FILL SLOPES 5:1 (5 FEET HORIZONTAL TO 1 FOOT VERTICAL) OR STEEPER THAT WILL BE LEFT EXPOSED FOR MORE THAN 7 DAYS SHALL BE PROTECTED BY JUTE MATTING, PLASTIC SHEETING, MULCHING, OR OTHER APPROVED STABILIZATION METHODS AND PROVIDE ADEQUATE RUNOFF CONVEYANCE TO INTERCEPT RUNOFF AND CONVEY IT TO AN APPROVED STORM DRAIN. EXCEPTIONS AS MODIFIED PER THE CONSTRUCTION MORATORIUM OCTOBER 1ST THROUGH APRIL 1ST.
18. OFF-SITE STREETS MUST BE CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET, THE STREET SHALL BE CLEANED. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION VEHICLE ENTRANCES AND SHALL BE CLEANED OF MUD PRIOR TO EXITING ONTO THE STREET. SILT SHALL BE CLEANED FROM ALL CATCH BASINS WHEN THE BOTTOM HALF BECOMES FILLED WITH SILT.
19. ANY CATCH BASINS COLLECTING WATER FROM THE SITE, WHETHER THEY ARE ON OR OFF OF THE SITE, SHALL HAVE THEIR GRATES COVERED WITH FILTER FABRIC DURING CONSTRUCTION.
20. WASHED GRAVEL BACKFILL ADJACENT TO THE FILTER FABRIC FENCES SHALL BE REPLACES AND THE FABRIC CLEANED IF CLOGGED BY SILT. ALL INTERCEPTOR SWALES SHALL BE CLEANED IF SILT ACCUMULATION EXCEEDS ONE-QUARTER DEPTH.

IF ANY PORTION OF THE EROSION/SEDIMENTATION CONTROL ELEMENTS ARE DAMAGED OR NOT FUNCTIONING, OR IF THE CLEARING LIMIT BOUNDARY BECOMES NON-DEFINED, IT SHALL BE REPAIRED IMMEDIATELY.

STORM DRAINAGE CONSTRUCTION

- 1. BEDDING SHALL CONFORM TO THE WASHINGTON STATE STANDARD SPECIFICATIONS, M-41-10, SECTION 9.03.12(3).
2. MINIMUM COVER OVER STORM DRAIN SHALL BE AS SHOWN ON PLANS.
3. TRENCH BACKFILL COMPACTED TO 95% OF MAXIMUM DENSITY SHALL BE REQUIRED WHEREVER TRENCH EXCAVATION IS MADE IN PAVED ROADWAY, SIDEWALK OR ANY OTHER AREA WHERE MINOR SETTLEMENT WOULD BE DETRIMENTAL.
4. TYPE 1, CATCH BASIN INLET SHALL CONFORM TO SECTION 7-05 OF THE WASHINGTON STATE STANDARD SPECIFICATIONS
5. TYPE 2, CATCH BASIN INLET SHALL CONFORM TO SECTION 7-05 OF THE WASHINGTON STATE STANDARD SPECIFICATIONS
6. GRATE COVERS FOR CATCH BASINS AND INLETS SHALL CONFORM TO OLYMPIC FOUNDRY CO. #SM50G OR EQUAL FOR SLOPES LESS THAN 3%. WHERE SLOPES EXCEED 3%, USE OLYMPIC FOUNDRY CO. #SM50VG.
7. SOLID COVERS FOR MANHOLES, WHERE PERMITTED, SHALL BE 24" DIAMETER, WITH "DRAIN" CAST IN COVER IN 2" LETTERS, CONFORMING TO OLYMPIC FOUNDRY CO. MH43, INLAND FOUNDRY NO. 835, OR APPROVED EQUAL.
8. DRAINAGE STRUCTURES NOT WITHIN PUBLIC RIGHT-OF-WAY SHALL HAVE LOCKING LIDS.
9. FRAMES FOR CATCH BASINS AND INLETS SHALL BE OF CAST IRON OR DUCTILE IRON CONFORMING TO OLYMPIC FOUNDRY CO. SM50 OR EQUAL. VANED GRATES (SM50V) SHALL BE INSTALLED WHERE SHOWN ON THE PLANS, EXCEPT THROUGH-CURB INLET FRAMES WHICH SHALL CONFORM TO OLYMPIC FOUNDRY CO. SM52 OR EQUAL.

CITY OF MERCER ISLAND APPROVAL

DATE: _____

CODE OFFICIAL: _____

DATE: _____

CITY ENGINEER: _____



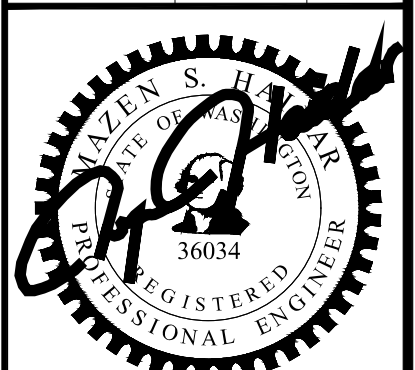
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SUB22 - 009, Site Development Permit # 2409 - 065

Standard Notes and Specification Plan

Plan Plotted For: Second Submittal

PACIFIC LAND ENGINEERING logo and contact information: Civil/Engineering, Development Services - Land Use Consulting, Permit Expediter, Survey, Survey Witness, Bellevue, WA - www.pacificlandwa.com - (425) 615-6160



Date: 03 / 12 / 2025

STAMP IS NOT VALID UNLESS SIGNED AND DATED

Job Number: 240215 - PLE - 2401

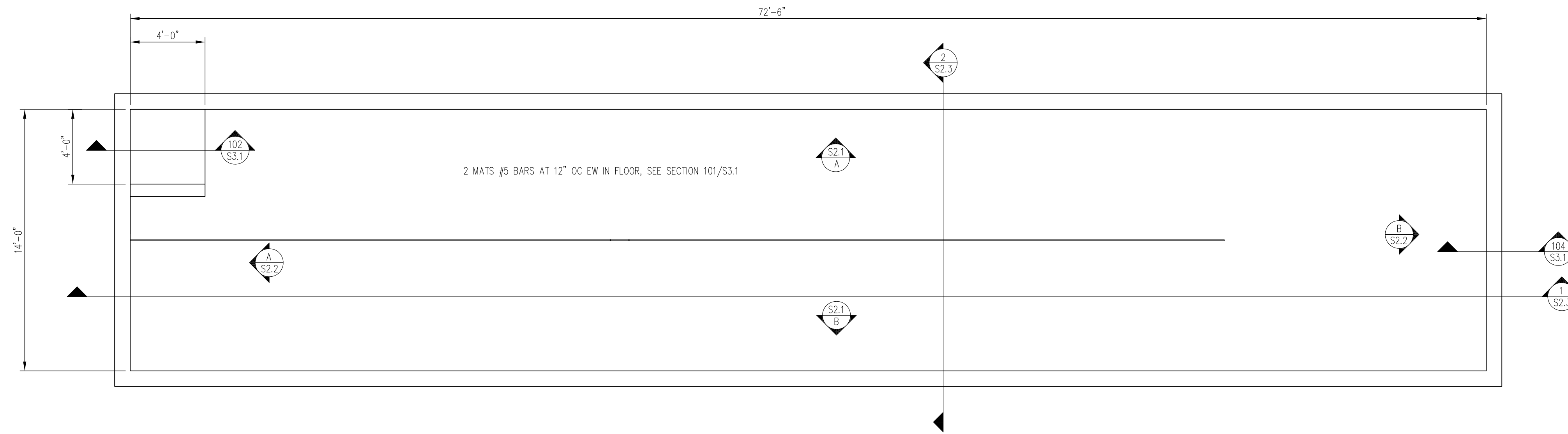
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Sheet No.

C - 14.0

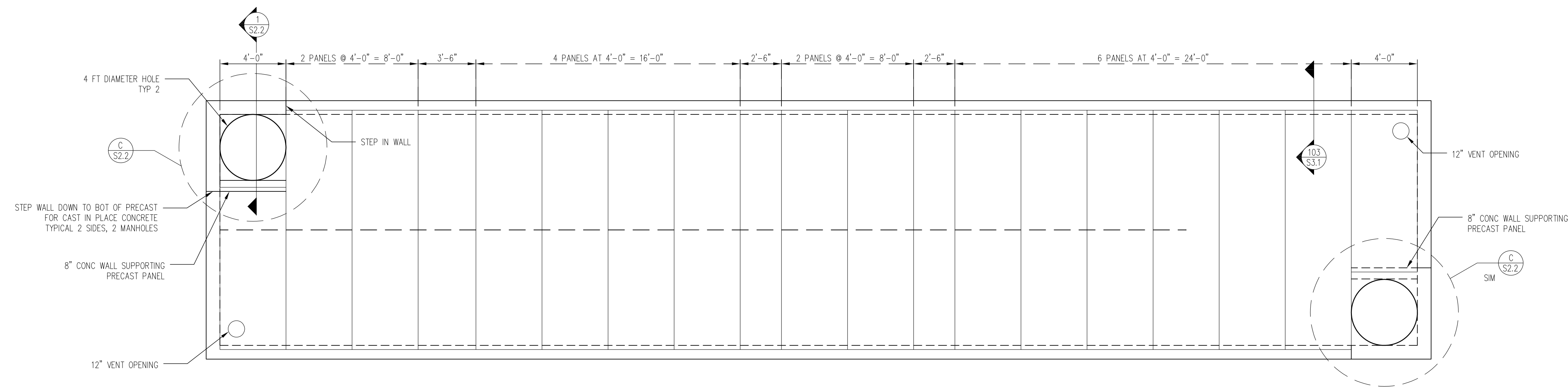
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1 FLOOR PLAN

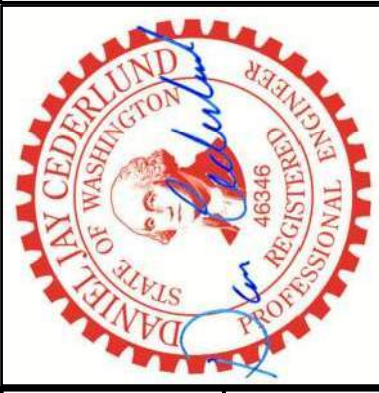
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2 LID PLAN

SCALE: 1/4" = 1'-0"

REV. #	DATE	DESCRIPTION



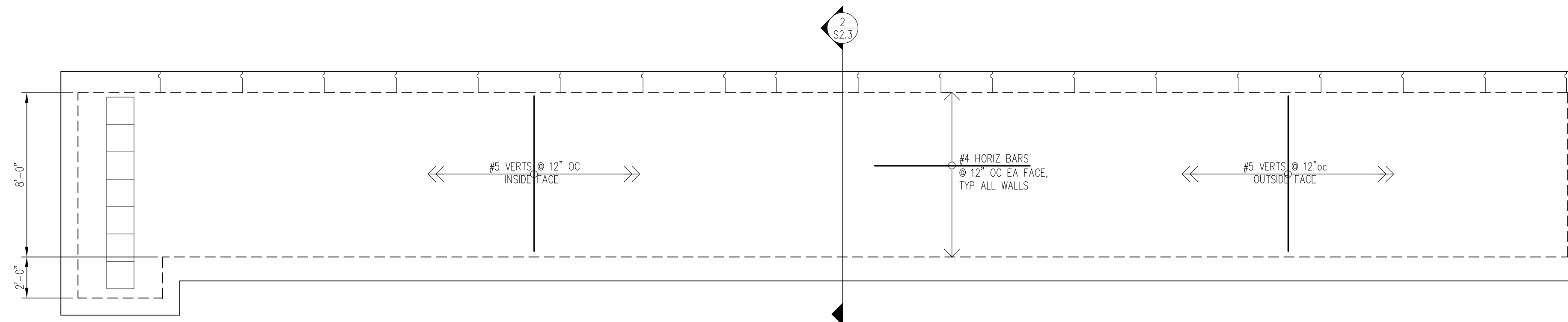
PROJECT TITLE
STORM WATER VAULT AT SUB22-009

SHEET TITLE
PLAN VIEW

SITE ADDRESS
4800 Block South, 8900 block East, Mercer Island WA 98040

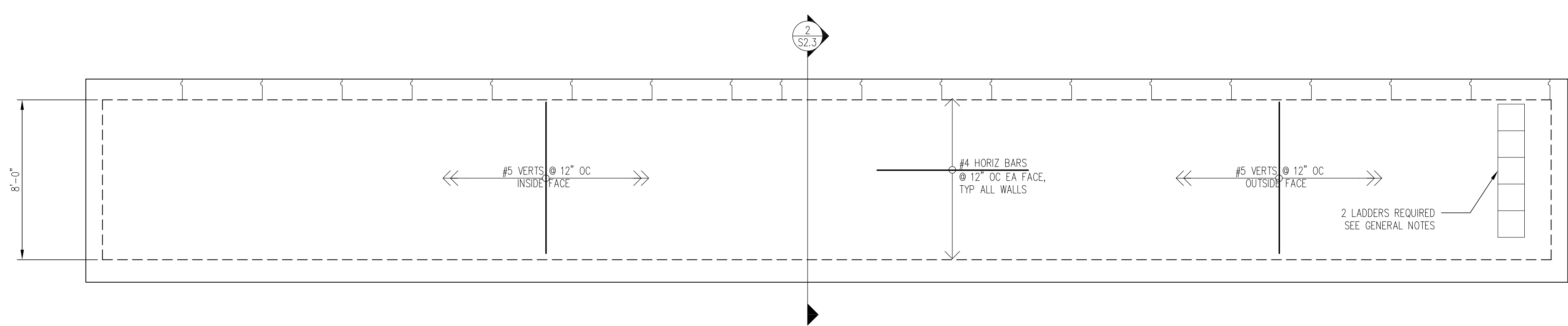
DRAWN BY:	DJC
DATE:	03-11-2025
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PROJECT NO.:	25-116

SHEET NUMBER
S1.0
SHEET 2 OF 6



A NORTH ELEVATION

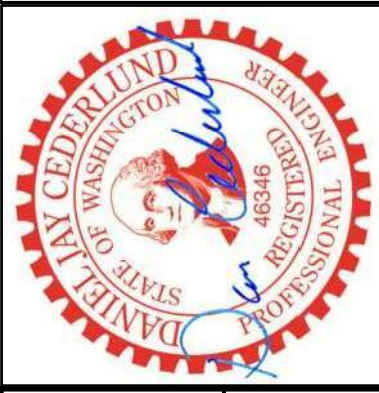
SCALE: 1/4" = 1'-0"



B SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

REV. #	DATE	DESCRIPTION



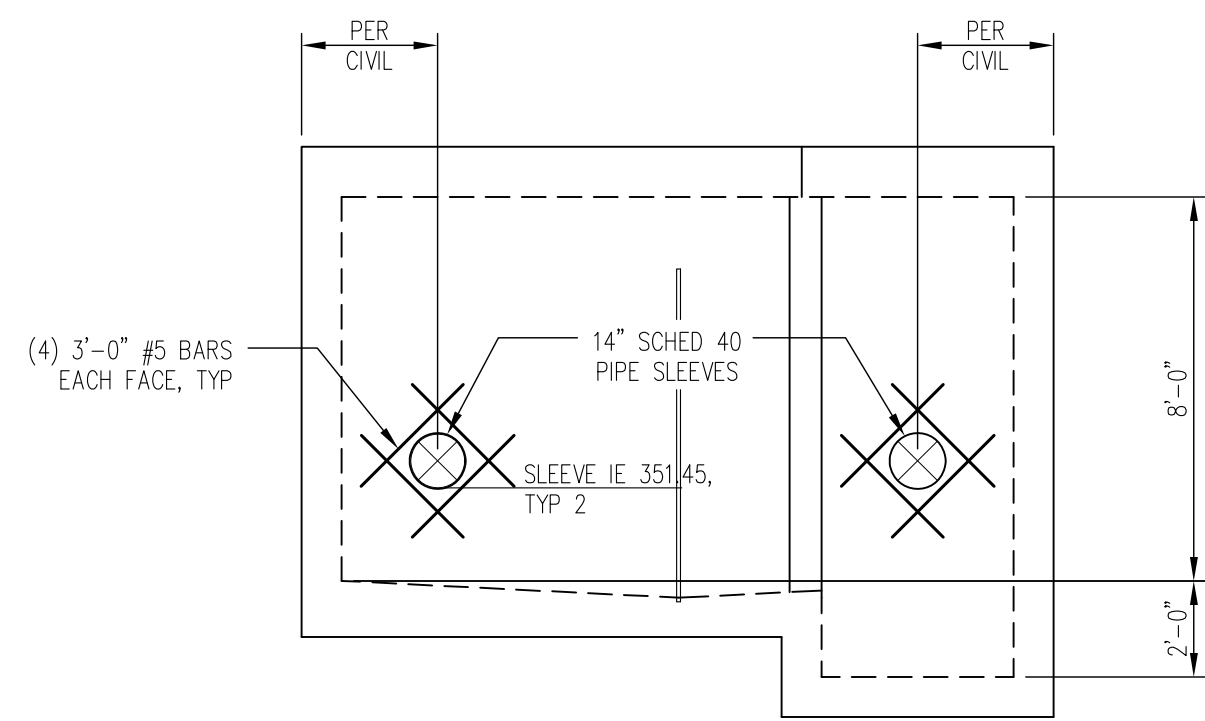
PROJECT TITLE
STORM WATER VAULT AT SUB22-009

SHEET TITLE
ELEVATIONS

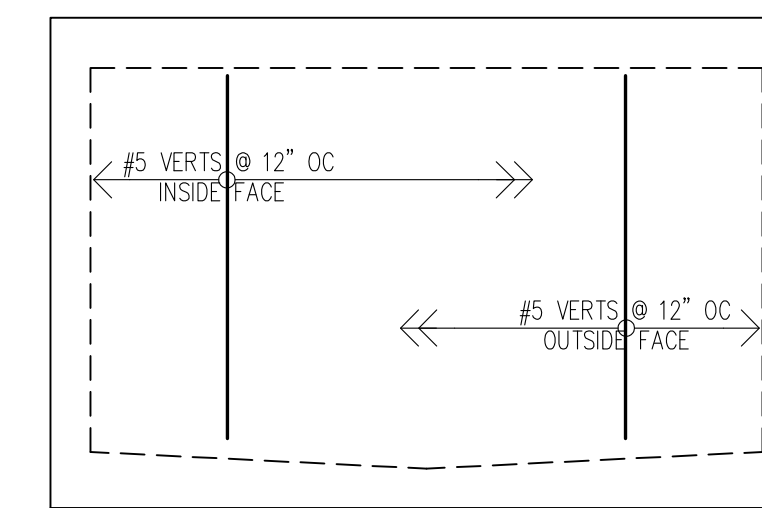
SITE ADDRESS
 4800 Block South, 8900 block East, Mercer Island WA 98040

DRAWN BY:	DJC
DATE:	03-11-2025
SCALE:	1/4" = 1'-0"
PROJECT NO.:	25-116

SHEET NUMBER
S2.1
 SHEET 3 OF 6

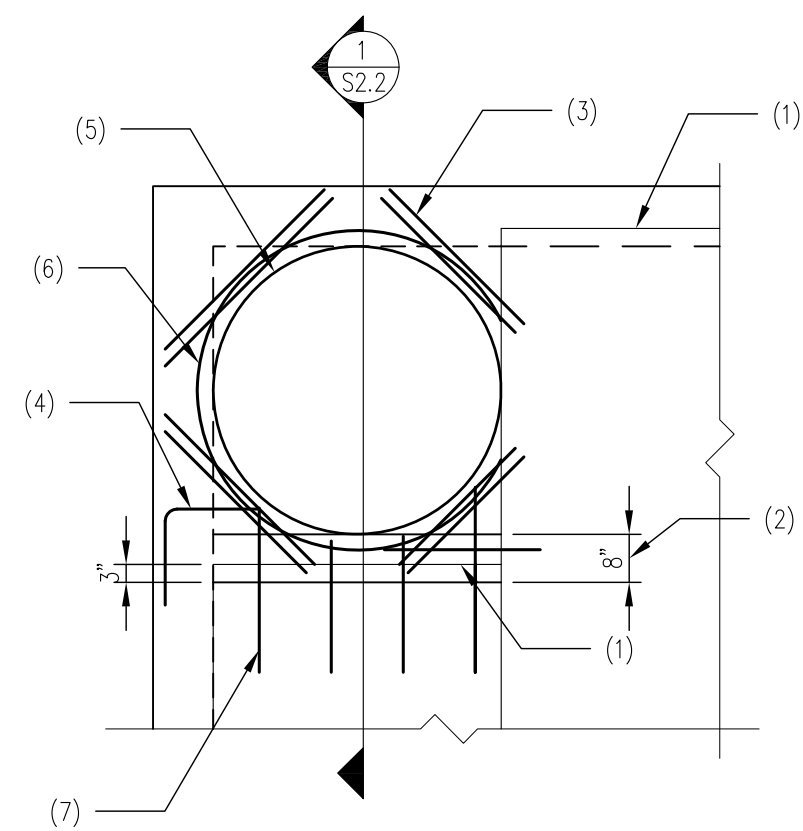


A WEST ELEVATION
SCALE: 1/4" = 1'-0"



NOTES:
1. REINFORCING TYPICAL AT WEST WALL.

B EAST ELEVATION
SCALE: 1/4" = 1'-0"

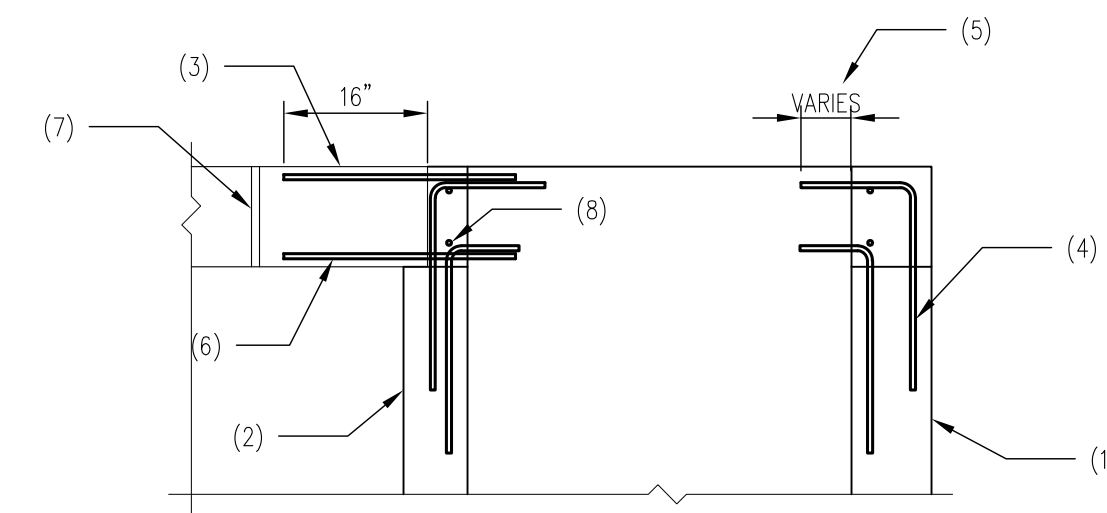


NOTES:

1. END OF PRECAST PANEL
2. CONCRETE KNEE WALL
3. #5 BAR T&B ALL 4 SIDES, DOWEL INTO PRECAST 4" LEAVE ACCESS HOLE IN PRECAST FOR FILLING 2 SIDES
4. 90 DEGREE #5 BARS T&B @ 6" OC CAST INTO WALL, TYP 2 SIDES
5. EDGE OF 4 FT DIAMETER HOLE
6. (1) #5 HOOP T&B TRIM AT PRECAST IF NEEDED
7. (1) #5 T&B CAST INTO EACH VOID IN PRECAST

NOTE: IF THE HOOP BARS LAND IN THE KEY WAY OF PRECAST PANEL TRIMMING MAY NOT BE NEEDED.

C DETAIL AT MANHOLE
SCALE: NTS



NOTES:

1. VAULT WALL
2. CONCRETE KNEE WALL
3. PRECAST PANEL WITH DAMS AND ACCESS HOLES FOR CONCRETE
4. #5 BARS CAST INTO WALL PER PER C/S2.2
5. END BARS 1 1/2" FROM OPENING, LENGTH WILL VARY
6. #5 BARS CAST INTO VOIDS OF PRECAST
7. DAM FOR CONCRETE IN VOID
8. #5 HOOP BARS PER C/S2.2

1 SECTION AT MANHOLE
SCALE: NTS

REV. #	DATE	DESCRIPTION



PROJECT TITLE
STORM WATER VAULT AT SUB22-009

SITE ADDRESS
4800 Block South, 8900 block East, Mercer Island WA 98040

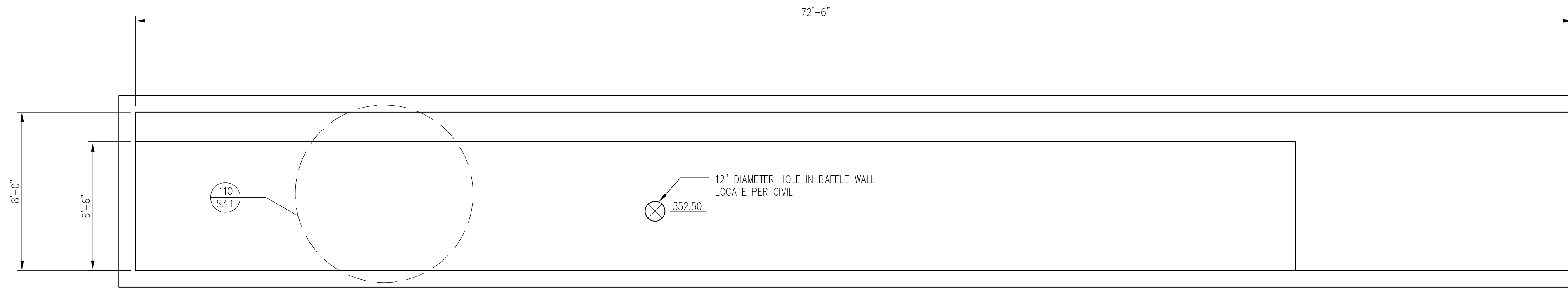
SHEET TITLE
ELEVATIONS AND SECTIONS

DRAWN BY:	DJC
DATE:	03-11-2025
SCALE:	AS NOTED
PROJECT NO.:	25-116

SHEET NUMBER

S2.2

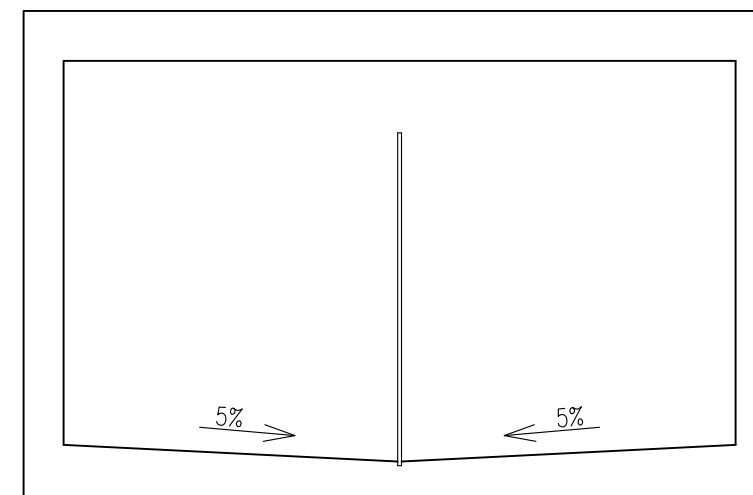
SHEET 4 OF 6



1 SECTION

SCALE: 1/4" = 1'-0"

B/LID 357.00
 T/ BAFFLE WALL 355.50
 T/FLOOR 349.00



2 SECTION

SCALE: 1/4" = 1'-0"

REV. #	DATE	DESCRIPTION



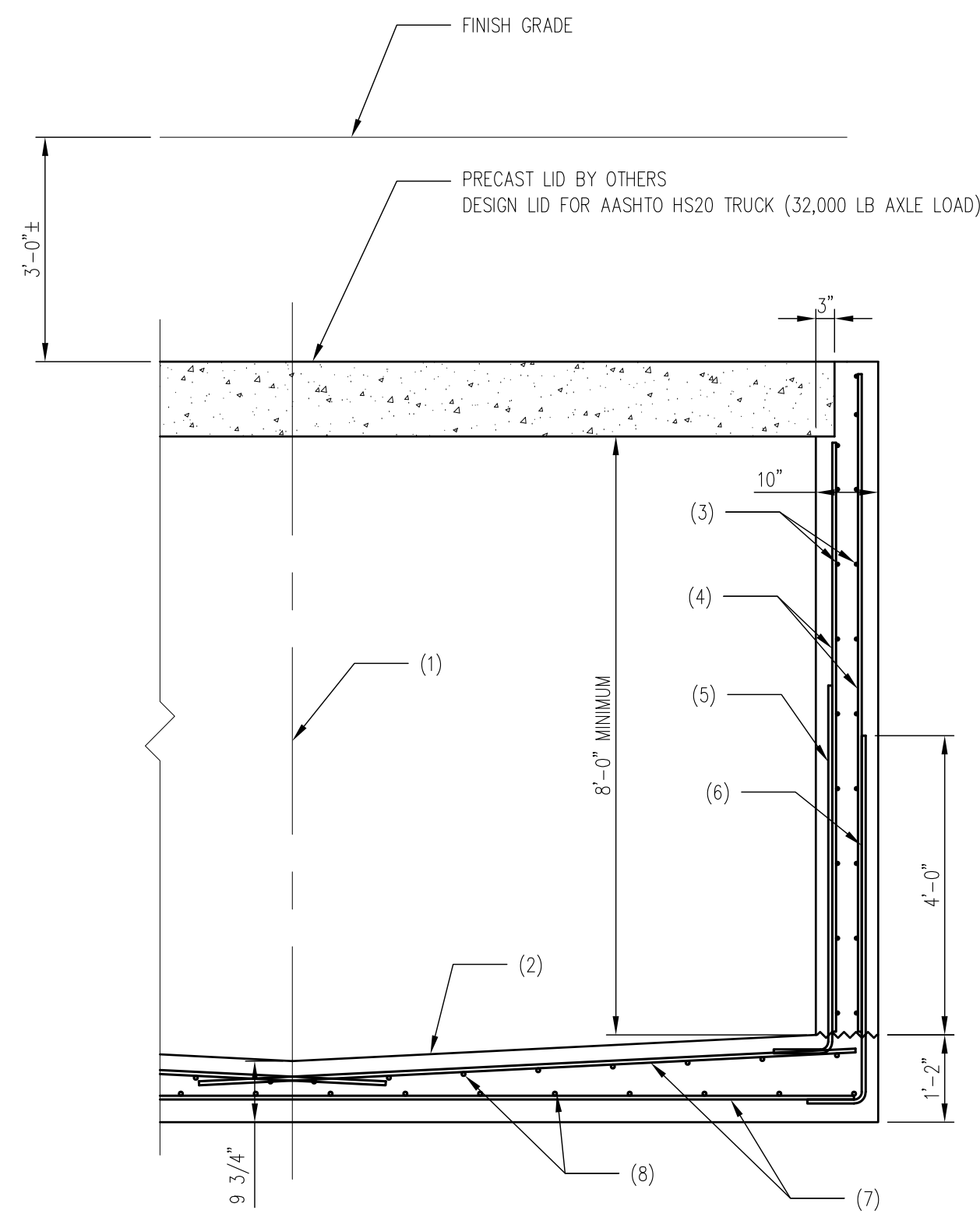
PROJECT TITLE
STORM WATER VAULT AT SUB22-009

SITE ADDRESS
 4800 Block South, 8900 block East, Mercer Island WA 98040

SHEET TITLE
SECTIONS

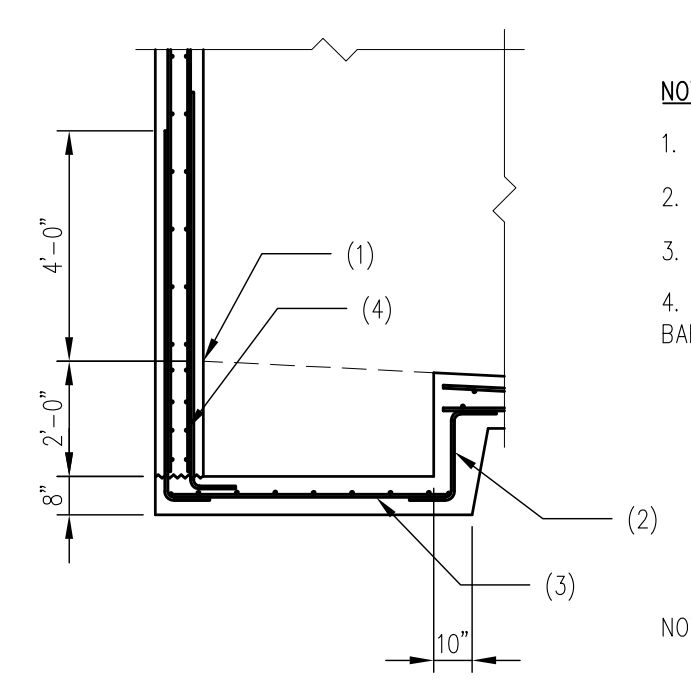
DRAWN BY:	DJC
DATE:	03-11-2025
SCALE:	AS NOTED
PROJECT NO.:	25-116

SHEET NUMBER
S2.3
 SHEET 5 OF 6



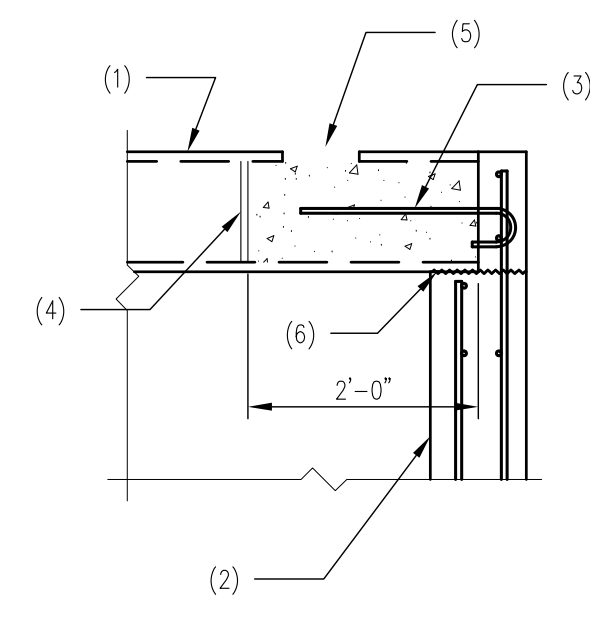
- NOTES:**
- CENTERLINE, WALLS, FLOOR, AND CEILING ARE SYMMETRICAL AROUND CENTERLINE
 - SLOPE FLOOR 5% TO CENTERLINE (5/8"/FOOT)
 - #4 HORIZ BARS AT 12" OC EACH FACE
 - #5 VERT BARS AT 12" OC EACH FACE
 - #5 DOWEL BARS AT 12" OC INSIDE FACE
 - #5 DOWEL BARS AT 4" OC OUTSIDE FACE
 - #5 TRANSVERSE BARS AT 12" OC TOP AND BOTTOM
 - #4 LONGITUDINAL BARS AT 12" OC
- NOTES:**
- VERTICAL BARS ARE TO BE OUTSIDE OF HORIZONTAL BARS AT WALLS.
 - FOR PRECAST LID SOIL WEIGHT USE 3 FEET OF SOIL AT 125 PCF.

101 TYPICAL SECTION SCALE: NTS



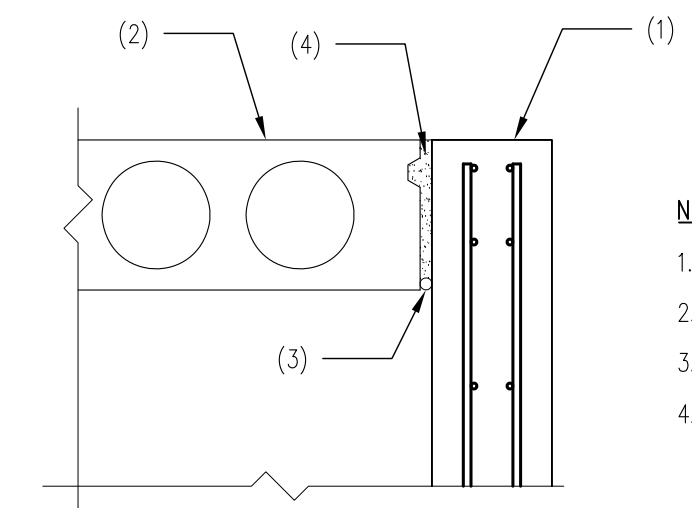
- NOTES:**
- HIGH POINT OF VAULT FLOOR
 - #5 Z BARS AT 8" OC
 - #5 BARS AT 8" OC EW
 - #4 HORIZ AT 6" OC AT PIT, EXTEND EXTRA BARS 2 FT PAST PIT
- NOTE: FOR ITEMS NOT SHOWN SEE DETAIL 101

102 REINFORCING AT PIT SCALE: NTS



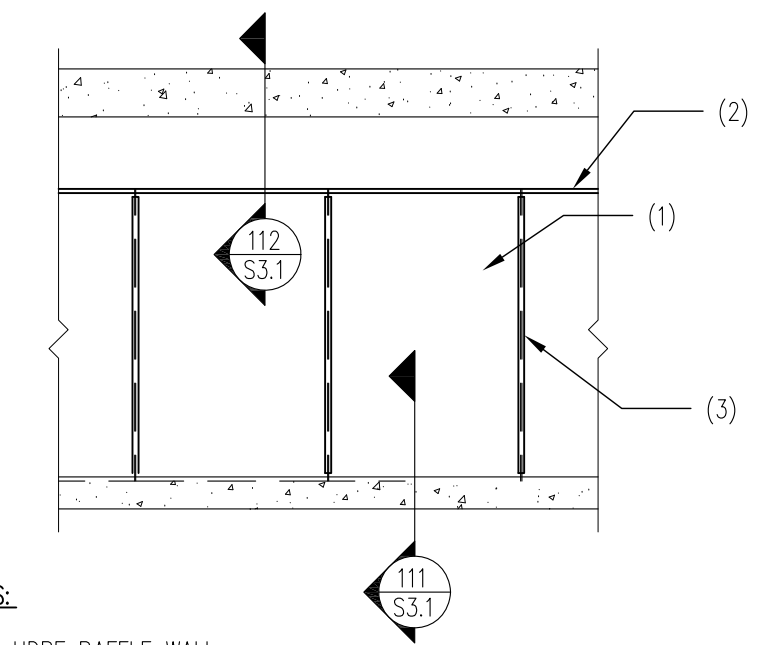
- NOTES:**
- PRECAST VOIDED SLAB BY OTHERS
 - INSIDE FACE OF VAULT WALL
 - #3 HOOKS EACH VOID
 - CONCRETE DAM
 - 6"x8" POUR HOLE BY PRECAST MFR, FILL WITH CONCRETE
 - 1/4"x3/8" BRG STRIP BY PRECAST MFR, INSTALL 1/2" FROM INSIDE FACE BY CONTRACTOR
- NOTE: FOR ITEMS NOT SHOWN SEE DETAIL 101

103 SECTION SCALE: NTS



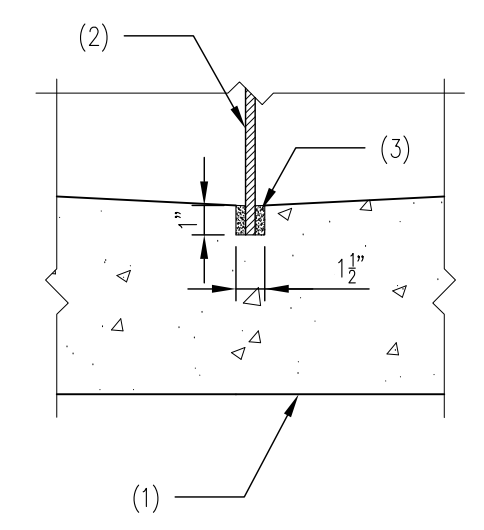
- NOTES:**
- VAULT WALL
 - PRECAST PANEL
 - BACKER ROD, GROUT DAM
 - FILL WITH GROUT

104 TYPICAL END WALL SECTION SCALE: NTS



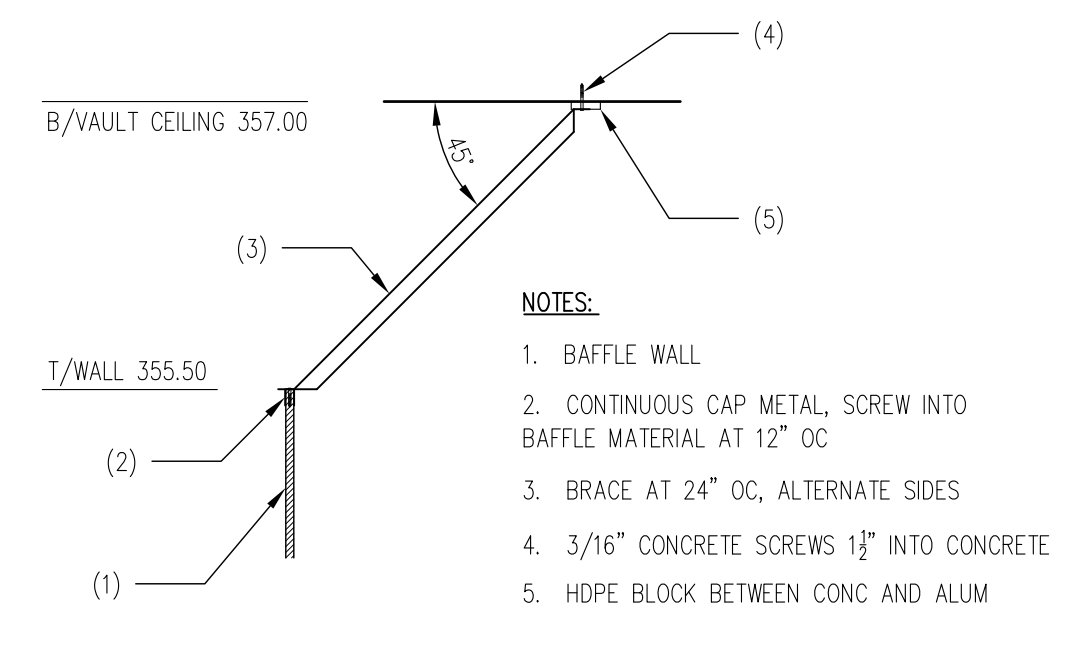
- NOTES:**
- 1" HDPE BAFFLE WALL
 - CONTINUOUS CAP METAL
 - ALUMINUM H-CHANNEL BETWEEN WALL PANELS, HOLD CHANNELS 1" UP FROM FINISH CONCRETE
- NOTES:**
- CAP EXPOSED END OF WALL WITH C-CHANNEL

110 BAFFLE WALL SCALE: NTS



- NOTES:**
- VAULT FLOOR
 - BAFFLE WALL
 - NONE SHRINK GROUT

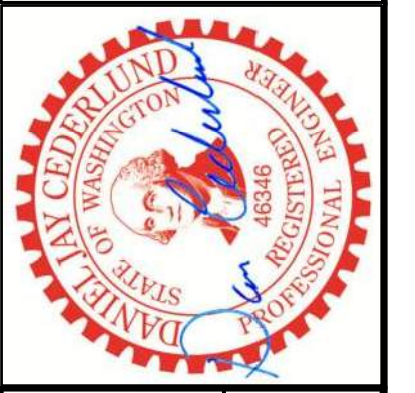
111 BAFFLE WALL AT VAULT FLOOR SCALE: NTS



- NOTES:**
- BAFFLE WALL
 - CONTINUOUS CAP METAL, SCREW INTO BAFFLE MATERIAL AT 12" OC
 - BRACE AT 24" OC, ALTERNATE SIDES
 - 3/16" CONCRETE SCREWS 1 1/2" INTO CONCRETE
 - HDPE BLOCK BETWEEN CONC AND ALUM
- NOTES:**
- CAP METAL TO BE ALUMINUM CHANNEL 1/16" THICK WITH 1" LEGS MINIMUM. SCREW INTO BAFFLE MATERIAL WITH 1 1/2" #12 GALVANIZED SCREWS AT 12" OC.
 - BRACES MAY BE MADE FROM CAP MATERIAL.
 - SCREWS AT BRACES MAY BE COUNTED AS CAP METAL SCREWS.

112 BAFFLE WALL AT VAULT CEILING SCALE: NTS

REV. #	DATE	DESCRIPTION



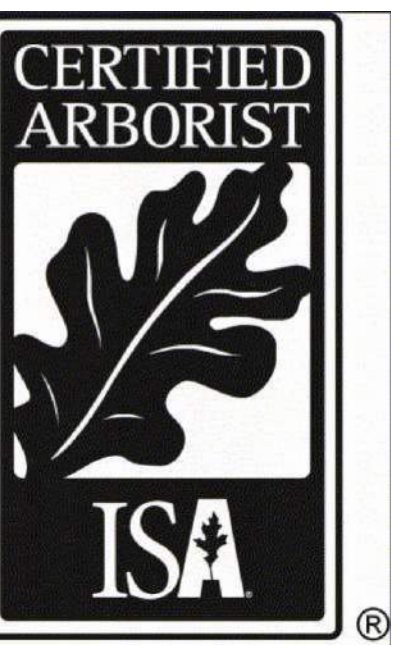
PROJECT TITLE
STORM WATER VAULT AT SUB22-009

SHEET NUMBER
S3.1

SITE ADDRESS
4800 Block South, 8900 block East, Mercer Island WA 98040

DRAWN BY:	DJC
DATE:	03-11-2025
SCALE:	AS NOTED
PROJECT NO.:	25-116

SHEET NUMBER
S3.1
SHEET 6 OF 6

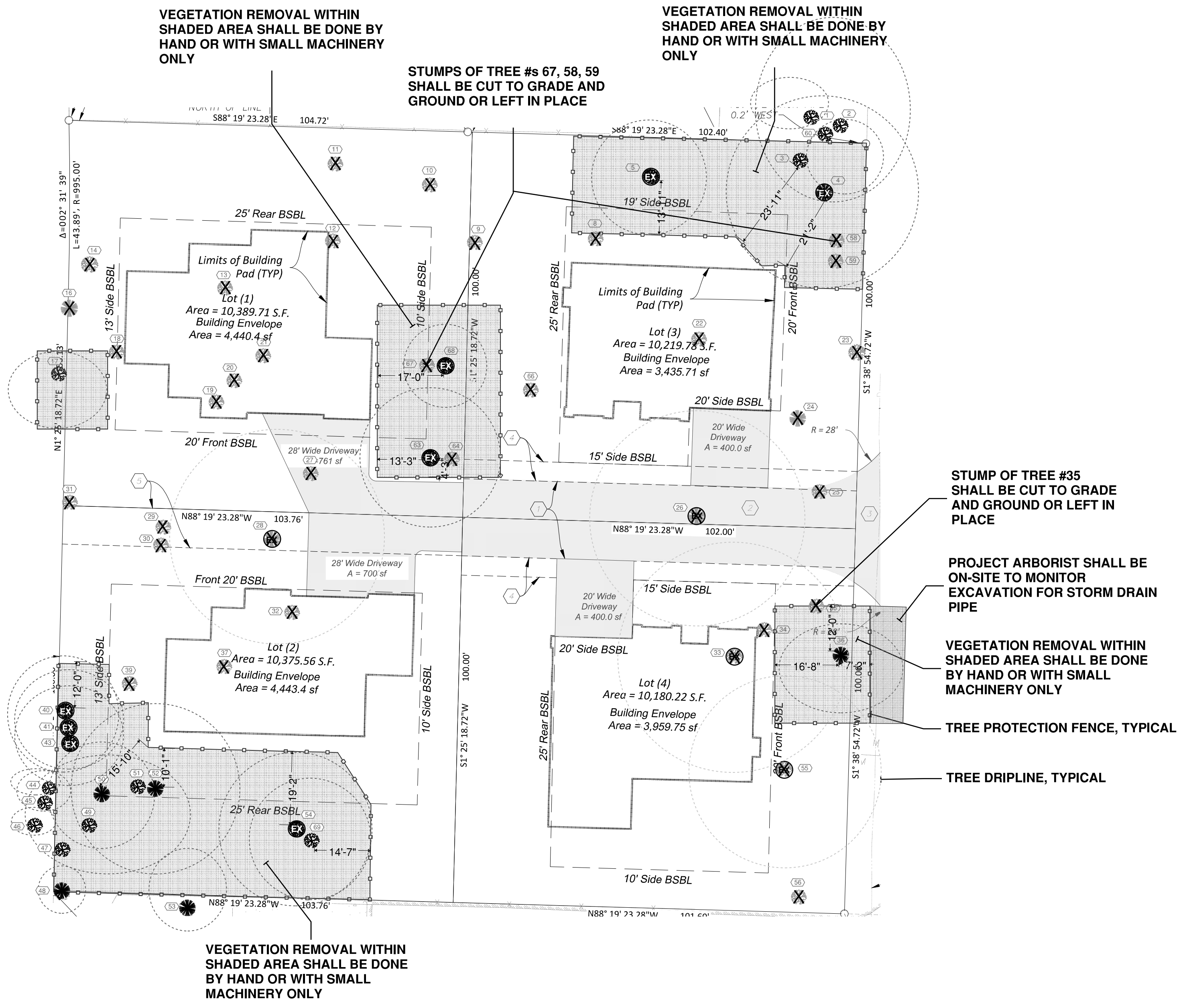


TREE RETENTION CALCULATIONS	
TOTAL LARGE TREES	51 TREES
TOTAL RETAINED TREES	16 TREES
TOTAL TREE RETENTION	31.4%

Note: Trees that are exceptional by size per MICC 19.10 but which are non-viable are noted as such in the exceptional designation column in the tables below

TREES TO BE RETAINED						
Tree No.	Common Name	DBH (in)	Viable	Dripline Avg (ft)	Exceptional	Proposed Action
3	Bigleaf Maple	22.5	Yes	24		Retain
4	Douglas-fir	41.5	Yes	20	Yes	Retain
5	Madrone	14.6	Yes	12	Yes	Retain
36	Deodar Cedar	19.4	Yes	14		Retain
40	Madrone	7.5	Yes	6	Yes	Retain
41	Madrone	10.9	Yes	10	Yes	Retain
43	Madrone	9.6	Yes	5	Yes	Retain
47	Madrone	10.3	No	6	No - not viable	Retain
49	Bigleaf Maple	18.7	Yes	19		Retain
50	Douglas-fir	26.1	Yes	14		Retain
51	Bigleaf Maple	11.1	No	0		Retain
52	Bigleaf Maple	21.9	Yes	21		Retain
54	Madrone	13.9	Yes	10	Yes	Retain
63	Madrone	25.2	Yes	19	Yes	Retain
68	Madrone	18.1	Yes	9	Yes	Retain
69	Bitter cherry	14.8	Yes	16		Retain

TREES TO BE REMOVED						
Tree No.	Common Name	DBH (in)	Viable	Dripline Avg (ft)	Exceptional	Proposed Action
8	Bigleaf Maple	12.1	No	9		Remove
9	Bigleaf Maple	20.9	No	11		Remove
10	Black cottonwood	28.7	Yes	32		Remove
11	Madrone	11.9	No	3	No - not viable	Remove
12	Madrone	18.9	No	11	No - not viable	Remove
13	Bigleaf Maple	19.5	No	20		Remove
14	Bigleaf Maple	12.0	No	0		Remove
16	Douglas-fir	17.5	No	14		Remove
18	Madrone	20.1	No	10	No - not viable	Remove
19	Bigleaf Maple	19.6	No	14		Remove
20	English holly	12.7	No	16		Remove
21	Bigleaf Maple	21.2	No	12		Remove
22	Red alder	12.2	No	14		Remove
23	Red alder	19.0	No	0		Remove
24	Western Redcedar	23.5	Yes	16		Remove
25	Bigleaf Maple	19.6	No	20		Remove
26	Douglas-fir	38.6	Yes	26	Yes	Remove
27	Bigleaf Maple	32.9	No	30	No - not viable	Remove
28	Western Redcedar	39.1	Yes	24	Yes	Remove
29	Madrone	10.4	No	12	No - not viable	Remove
30	Bigleaf Maple	20.0	No	19		Remove
31	Douglas-fir	15.5	Yes	14		Remove
32	Bigleaf Maple	28.3	No	26		Remove
33	Madrone	28.1	Yes	22	Yes	Remove
34	Bigleaf Maple	25.1	No	14		Remove
35	Bigleaf Maple	31.6	No	27	No - not viable	Remove
37	Bigleaf Maple	17.6	No	21		Remove
39	Bigleaf Maple	21.2	No	8		Remove
55	Bigleaf Maple	32.0	Yes	23	Yes	Remove
56	Bigleaf Maple	36.9	No	26	No - not viable	Remove
58	Willow (native)	9.5	No	3	No - not viable	Remove
59	Willow (native)	9.2	No	7	No - not viable	Remove
64	Madrone	8.5	No	8	No - not viable	Remove
66	Bitter cherry	10.1	No	11		Remove
67	Bigleaf Maple	15.6	No	12		Remove

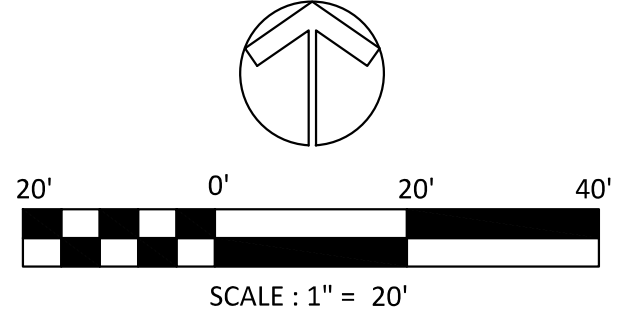
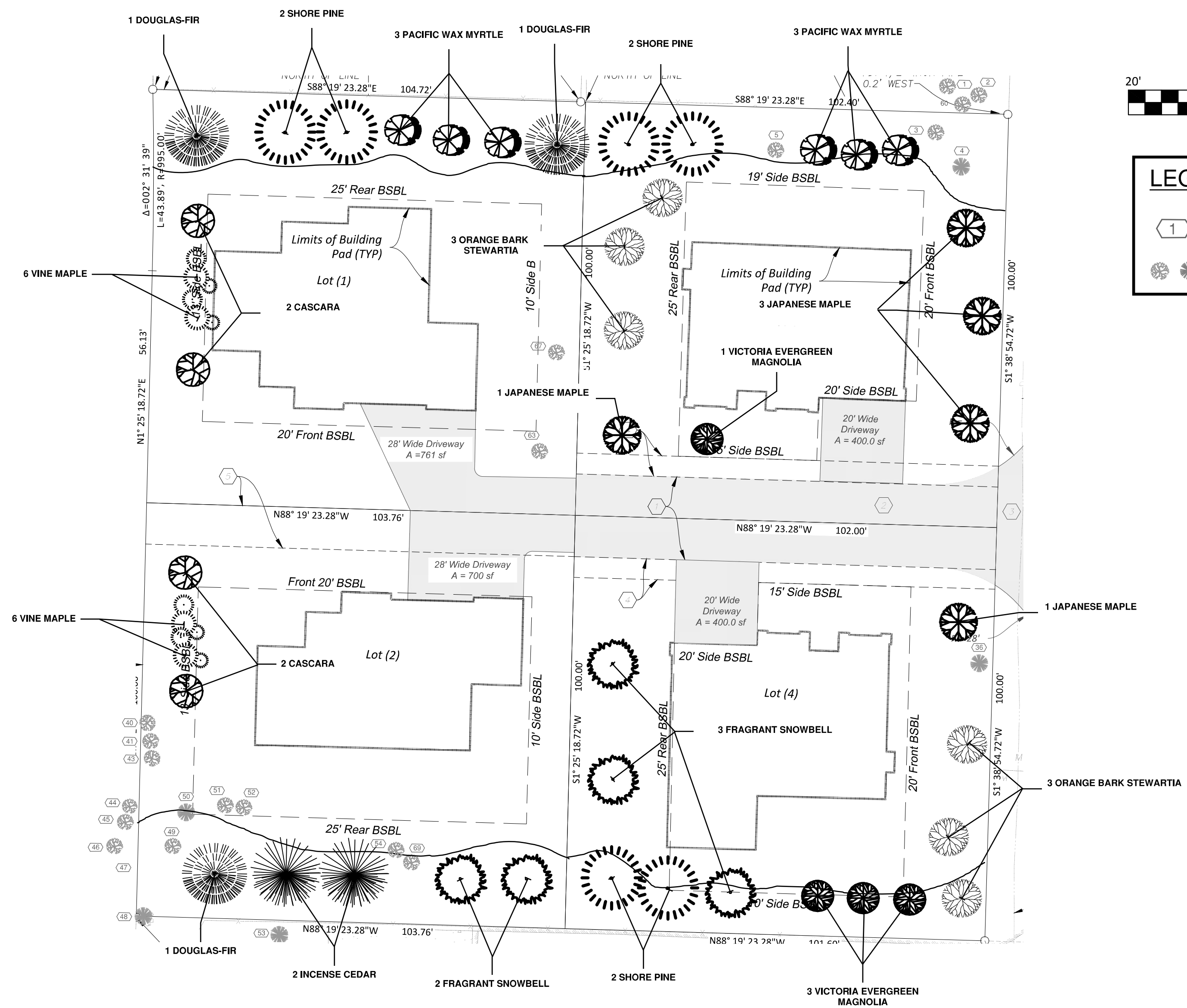


LEGEND:

- = TREE PROTECTION FENCE
- ① = TREE IDENTIFIER
- ✕ ✕ = LARGE TREE REMOVE
- ✕ ✕ = EXCEPTIONAL TREE REMOVE
- ✕ ✕ = LARGE TREE RETAIN
- ✕ ✕ = EXCEPTIONAL TREE RETAIN
- = TREE DRIPLINE

TABLE 1 - ARBORIST RECOMMENDATIONS FOR TREE PROTECTION	
General - All Retained Trees	<ol style="list-style-type: none"> 1. Tree Protection Fence: shall be installed as shown on the Tree Protection Plan and consist of 6-foot-tall chain-link fencing. Fencing shall be installed on concrete footings and securely attached by clamping the panels together. 2. Tree Protection Signage: plastic laminate signs shall be affixed to the fencing in 15-foot intervals using zip ties or wire which state "Tree Protection Area - Keep Out". 3. No work, excavation, trenching, material storage, cleaning or dumping shall occur behind the tree fencing. 4. Under no circumstances shall the grade be lowered within the Tree Protection Fencing area. 5. All invasive and other vegetation removed within the driplines of the trees shall be done mainly by hand or using small machinery only. 6. The stumps of removed trees within Tree Protection Areas shall be left in place and not ripped from the ground with heavy machinery.

TREE PROTECTION DETAIL	



LEGEND:
 ○ = TREE IDENTIFIER
 ● = EXISTING TREE TO REMAIN

Tree Planting Schedule					
Symbol	Species	Scientific Name	Native	Qty	Size
	Douglas-fir	<i>Pseudotsuga menziesii</i>	Yes	3	6' tall
	Shore Pine	<i>Pinus contorta</i>	Yes	6	6' tall
	Cascara	<i>Frangula purshiana</i>	Yes	4	1.5" caliper
	Pacific Wax Myrtle	<i>Myrica californica</i>	Yes	6	1.5" caliper
	Vine Maple	<i>Acer circinatum</i>	Yes	12	1.5" caliper
	Incense Cedar	<i>Calocedrus decurrens</i>	No	2	6' tall
	Victoria Evergreen Magnolia	<i>Magnolia grandiflora</i> 'Victoria'	No	4	1.5" caliper
	Japanese Maple	<i>Acer palmatum</i>	No	5	1.5" caliper
	Orange Bark Stewartia	<i>Stewartia monadelpha</i>	No	6	1.5" caliper
	Fragrant Snowbell	<i>Styrax obassia</i>	No	5	1.5" caliper

Total Replacement Trees	
Native	31
Non-Native	22
Total	53

- TREE PLANTING SPECIFICATIONS**
- Stage all trees before installation.
 - Spacing on the plan is approximate. Trees shall be planted no closer than 10 feet apart. Large conifer trees shall be spaced 15 to 20 feet apart.
 - Trees shall be planted at least 10 feet from fences, structures, and utilities.
 - Dig a hole at least 2 x the width of the root ball. The hole should be as deep as the root ball.
 - Remove the tree from the container. If wrapped in burlap and wire, all materials should be removed prior to planting.
 - Gently break up the root ball and cut away any wrapping/girdling roots.
 - Place the root ball in the hole and fill the hole with loose soil.
 - Ensure the root collar is not buried when filling the hole.
 - Pack the soil down gently and water deeply.

PROJECT 4833 MI_4 - LOT SHORT PLAT

TREE PLANTING PLAN

CASCARA TREE CONSULTING

PN-8078A
 QUALIFIED TREE RISK
 ASSESSOR



PREPARED:
 V1: 8/9/2023
 V2: 12/6/2023
 V3: 2/14/2025

SHEET NO.
 TR-02